

Annwyl Gyngorydd,

## PWYLLGOR CYNLLUNIO - DYDD MAWRTH, 14EG IONAWR, 2020

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

**Rhif ar yr  
Agenda**

**Eitem**

- a) **S/38285 - ADEILADU DATBLYGIAD PRESWYL SY'N CYNWYS HYD AT 210 O UNEDAU YNGHYD Â GWAITH TIRWEDDU A SEILWAITH CYSYLLTIEDIG AR DIR YN NOC Y GOGLEDD, SEASIDE, LLANELLI, SA15 2LY. (Tudalennau 3 - 24)**
4. **RHANBARTH Y DWYRAIN - PENDERFYNU AR GEISIADAU CYNLLUNIO (Tudalennau 25 - 62)**
5. **RHANBARTH Y DE - PENDERFYNU AR GEISIADAU CYNLLUNIO (Tudalennau 63 - 124)**
6. **RHANBARTH Y GORLLEWIN - PENDERFYNU AR GEISIADAU CYNLLUNIO (Tudalennau 125 - 218)**

Yn gywir,

*Wendy Walters*

Prif Weithredwr

Amg.

Y Pwyllgor  
Cynllunio

Planning  
Committee

**14.01.2020**

**RHANBARTH  
Y DE**

**AREA  
SOUTH**



**EICH CYNGOR arleinamdani**  
[www.sirgar.llyw.cymru](http://www.sirgar.llyw.cymru)

**YOUR COUNCIL doitonline**  
[www.carmarthenshire.gov.wales](http://www.carmarthenshire.gov.wales)

# Y Pwyllgor Cynllunio

# Planning Committee

**CEISIADAU YR  
ARGYMHELLIR EU  
BOD YN CAEL EU  
CYMERADWYO**

**APPLICATIONS  
RECOMMENDED  
FOR APPROVAL**



**EICH CYNGOR arleinamdani**  
[www.sirgar.llyw.cymru](http://www.sirgar.llyw.cymru)

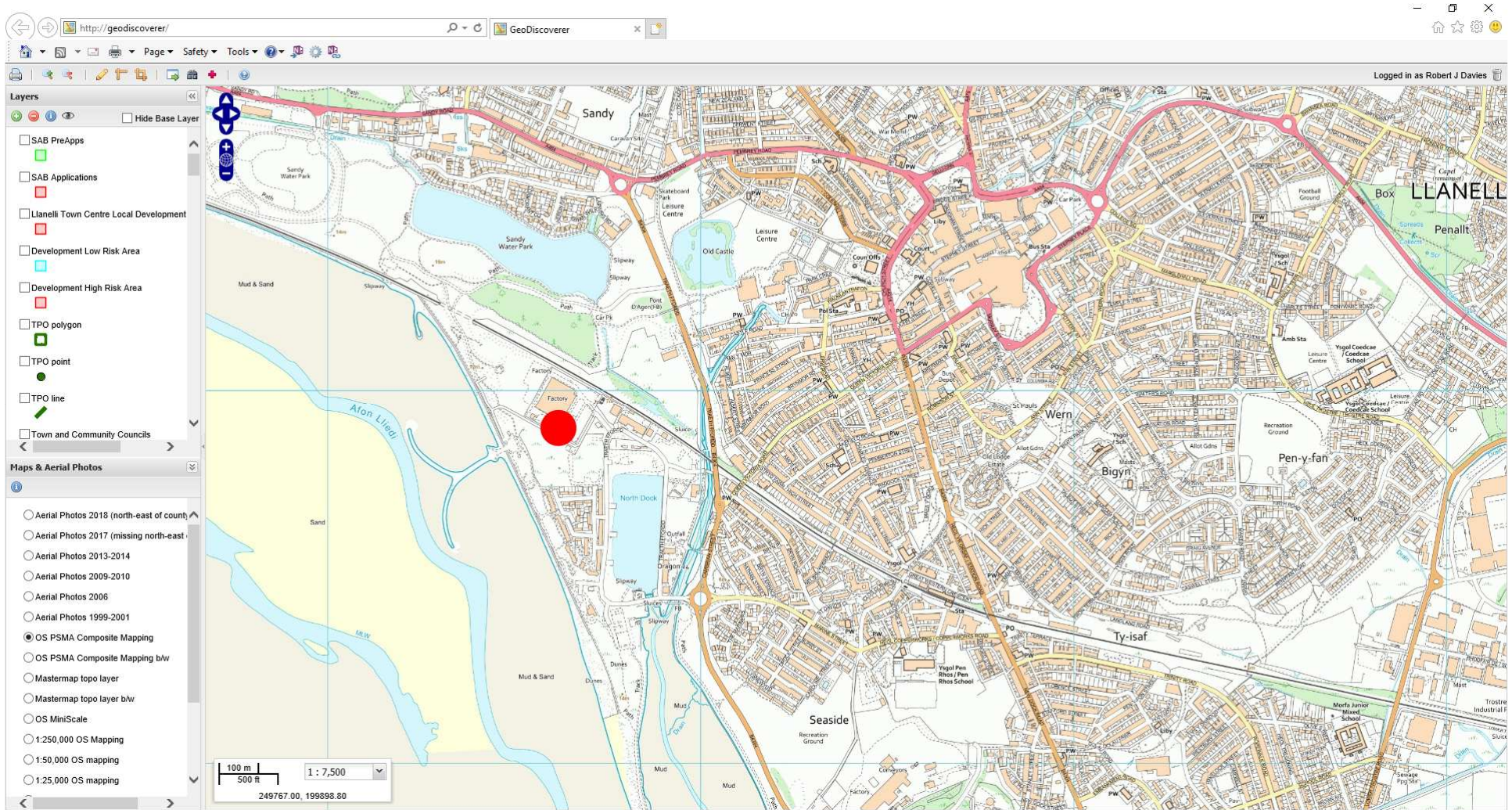
**YOUR COUNCIL doitonline**  
[www.carmarthenshire.gov.wales](http://www.carmarthenshire.gov.wales)

Y Pwyllgor  
Cynllunio

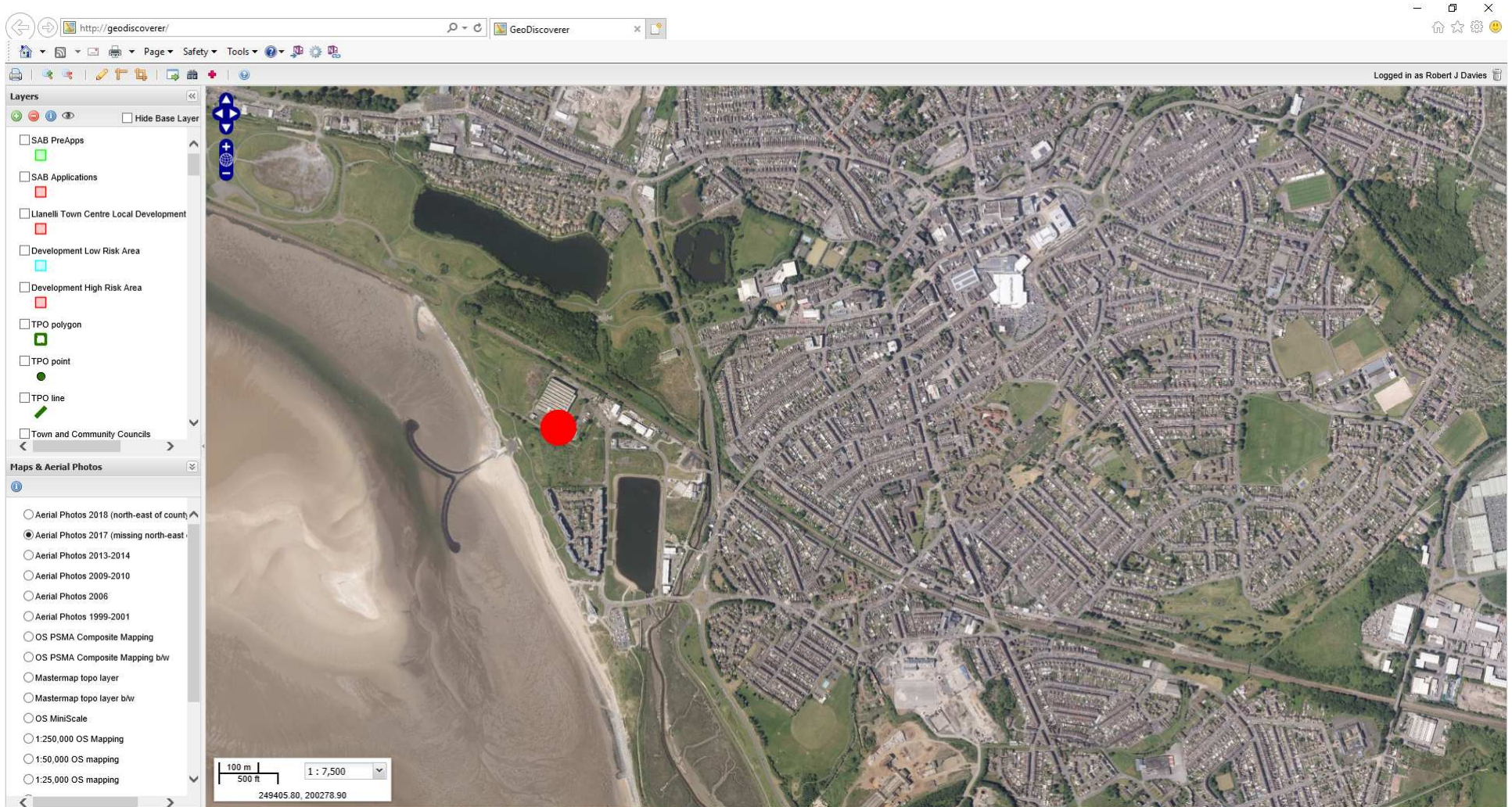
Planning  
Committee

S/38285

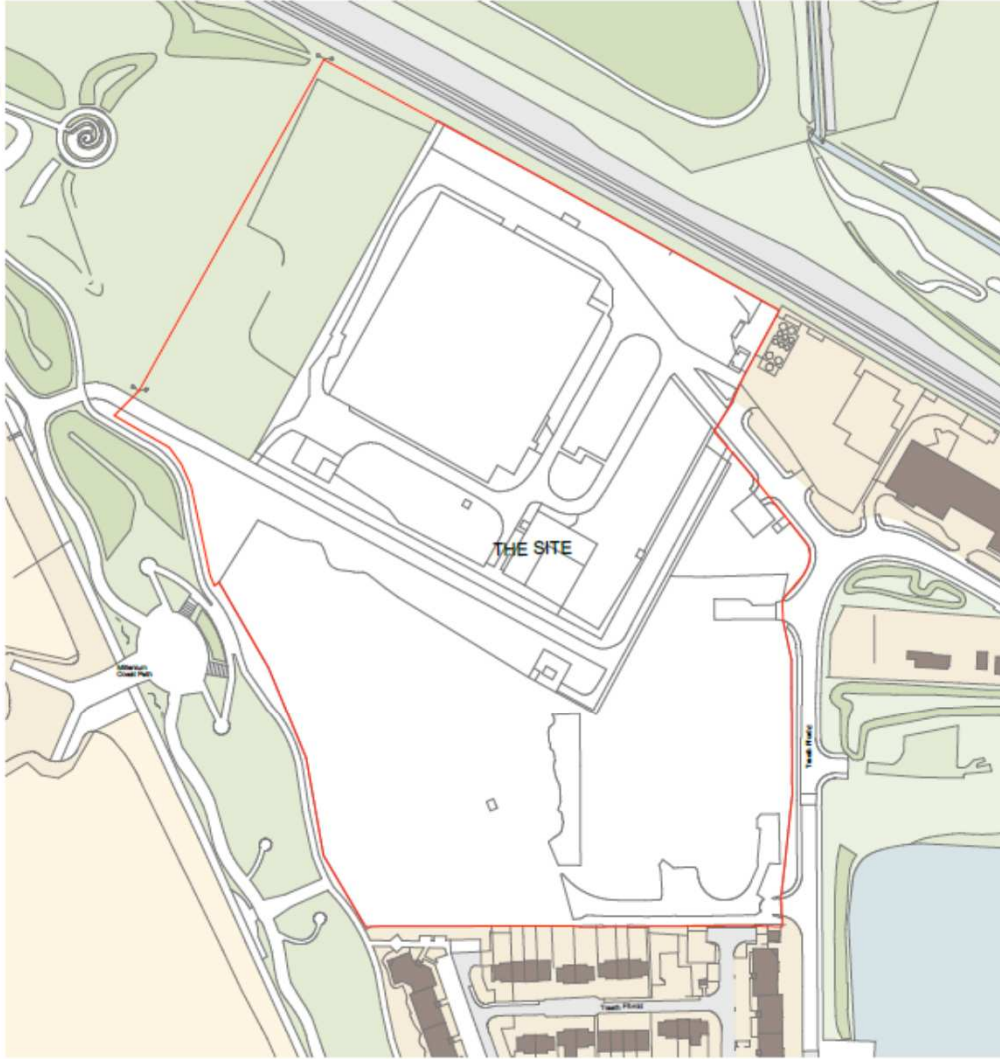
# S/38285



# S/38285



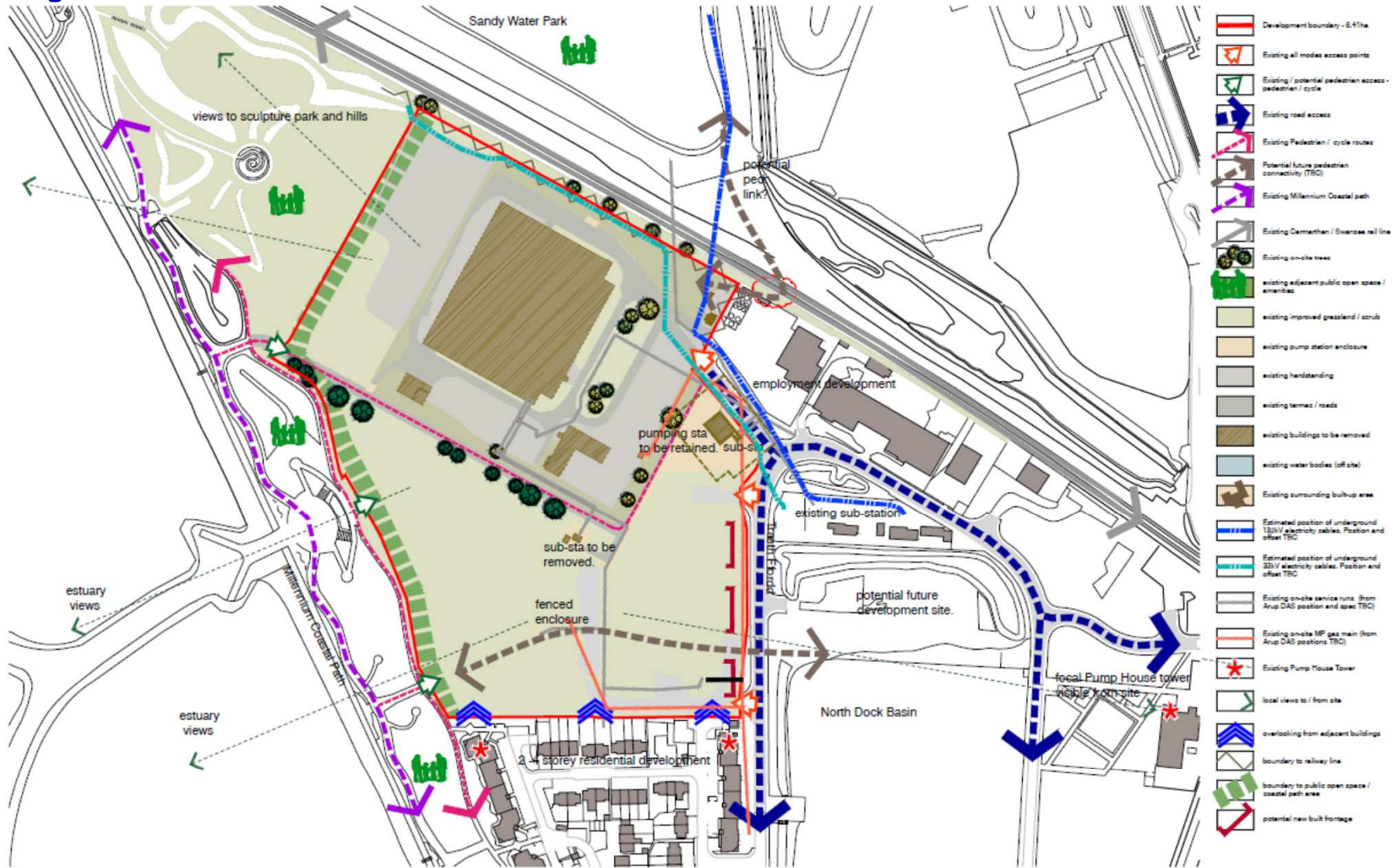
# S/38285



Development boundary



# S/38285



Tudalen 9



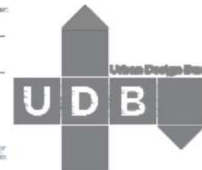
client:  
Carmarthenshire County Council  
project:  
North Dock, Llanelli  
drawing title:  
Constraints and Opportunities Plan

job number:  
OPU101  
scale:  
1:2000@A3  
date:  
February 2016

drawing number:  
2001A  
drawn:  
jrs  
status:  
planning

urbandesignbox.co.uk

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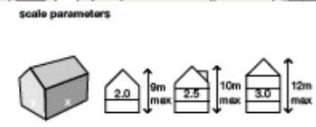


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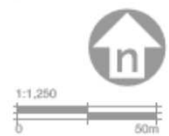


- Development boundary
- Indicative access - all modes
- Indicative access - pedestrian
- Indicative pedestrian routes to Millennium Coast Path
- Indicative residential street
- Indicative pedestrian / shared surface
- Indicative private drives / pavement
- Retained foul pumping station, sub station and access area

- Indicative Public Open Space
- Indicative Structural Open Space
- Approximate position of existing trees
- Indicative proposed trees / hedges
- Up to 3 storeys (flat)
- Up to 2.5 storeys (houses)
- Up to 2 storeys (houses)



house type	width (x)		depth (y)	
	min	max	min	max
detached	5m	18m	5m	15m
semi-detached	10m	18m	5m	10m
terraced	15m	25m	5m	10m
flats	10m	28m	10m	28m



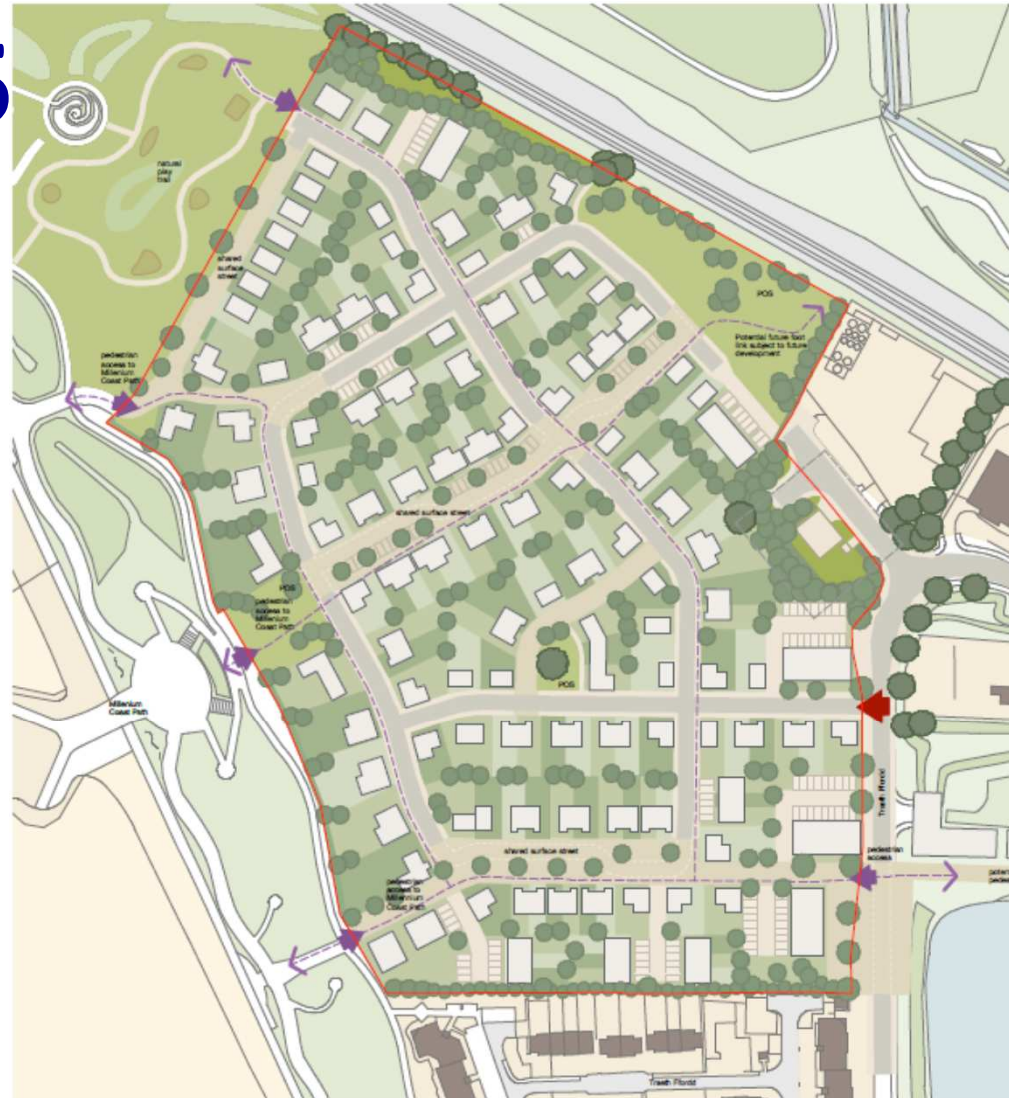
client: Carmarthenshire Council  
 project: North Dock, Llanelli  
 drawing title: Parameter Plan  
 urbandesignbox.co.uk

job number: OPUS15 382  
 scale: 1:1250  
 date: February 2015  
 drawing number: 46  
 status: planning



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# S/38285



## Concept Masterplan

1. Main access to the site from Teah Florid.
2. Pedestrian access point creating a continued pedestrian route across the north of the Dock towards the Millennium Coastal Path.
3. Secondary pedestrian access points creating a joined up development which is well-linked to its surroundings; potential future link towards the town centre.
4. A hierarchy of streets creates a highly residential environment and include shared surface areas, main and secondary streets and a loop within the development creating a highly accessible environment.
4. Self development edge to the coastal line with semi-private rear gardens creating a landscape edge to the coast path.
5. Up to three-storey development across the site with potential use of a varied roofscape to create variation across the site.
6. Development faces out onto adjacent open space to the north of the site to create natural surveillance and allowing views to the north.
7. Landscaped green edge to railway boundary includes retained and enhanced tree lines.
8. Buildings address POG with shared space / private drive frontage to promote quiet streets.
8. All green spaces have frontages overlooking them to provide natural surveillance.

Development boundary	Proposed residential street	Public Open Space
Access - all modes	Pedestrian / shared surface	Structural Open Space
Access - pedestrian	Private drives / pavement	Existing trees
Pedestrian routes to Millennium Coastal Path	Indicative built formage / feature buildings	Proposed trees / hedge
Community Natural Play Area (20m minimum offset to dwellings)	Private gardens	



client:  
Carmarthenshire Council

project:  
North Dock, Llanelly

Concept Masterplan

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drawing number: 0001

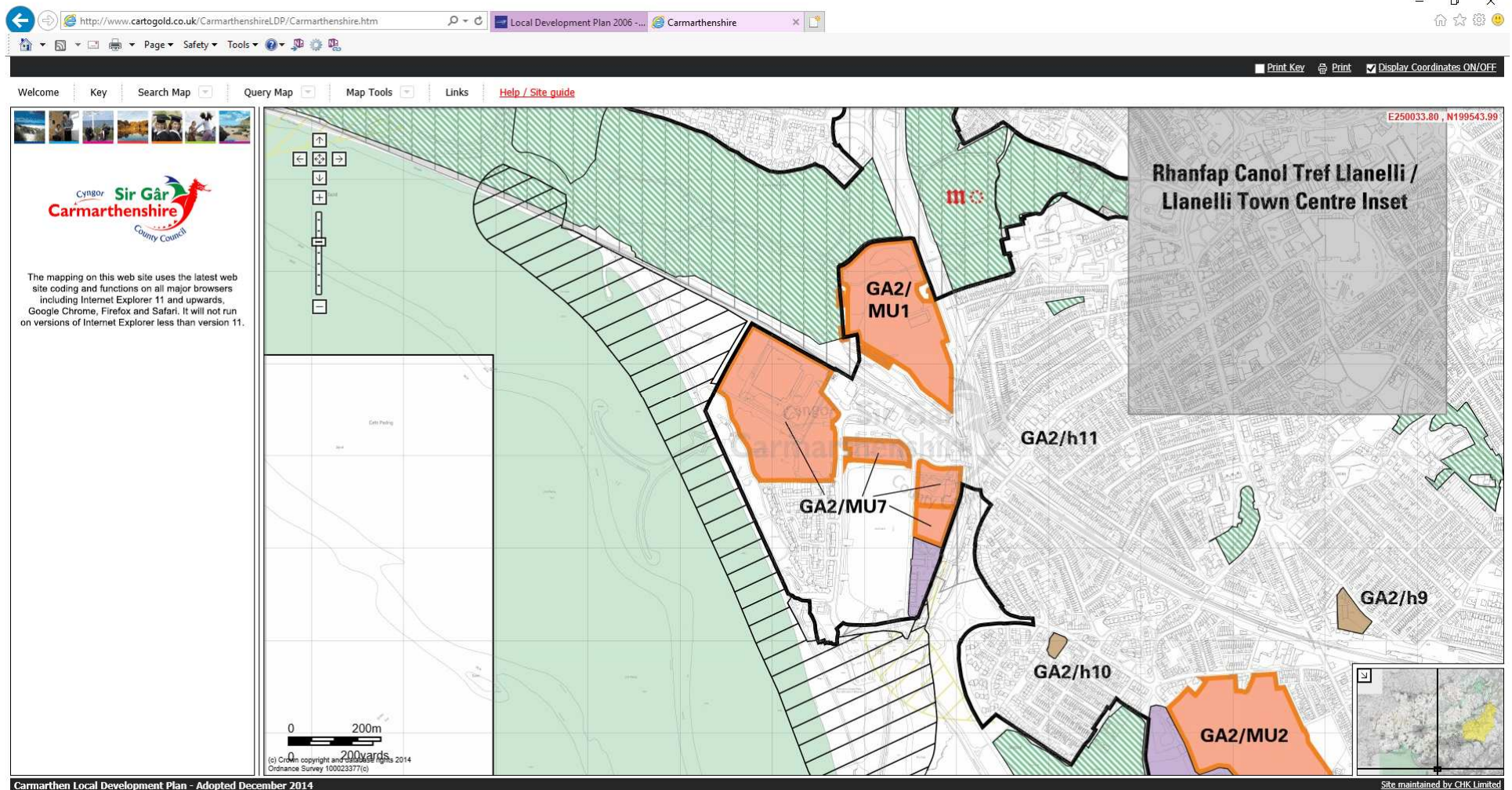
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date: 11/02/2016

author: JWS  
checked: JWS  
date: February 2016  
status: planning

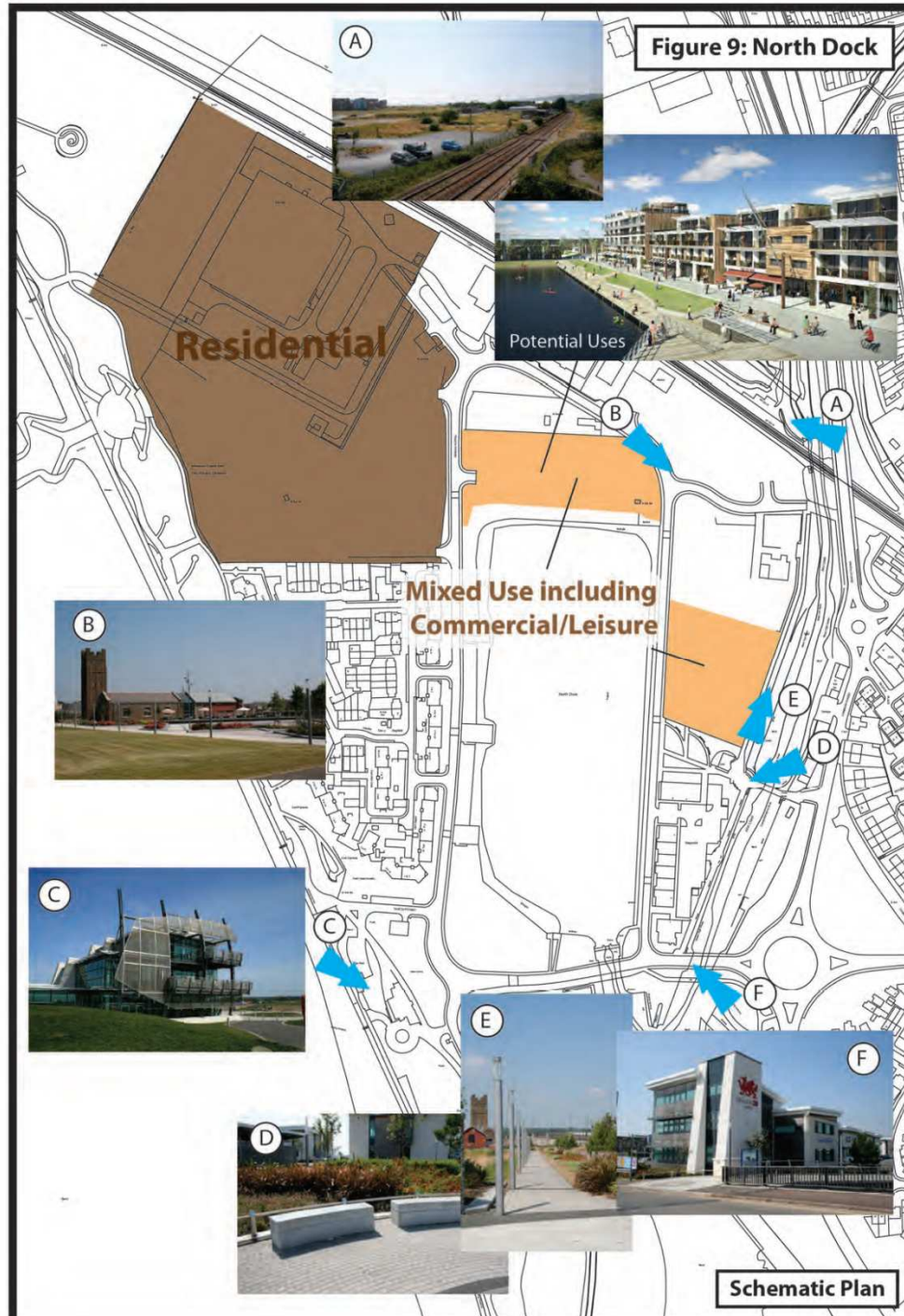


# S/38285

## LDP Extract



# S/38285 SPG Extract



Tudalen 14

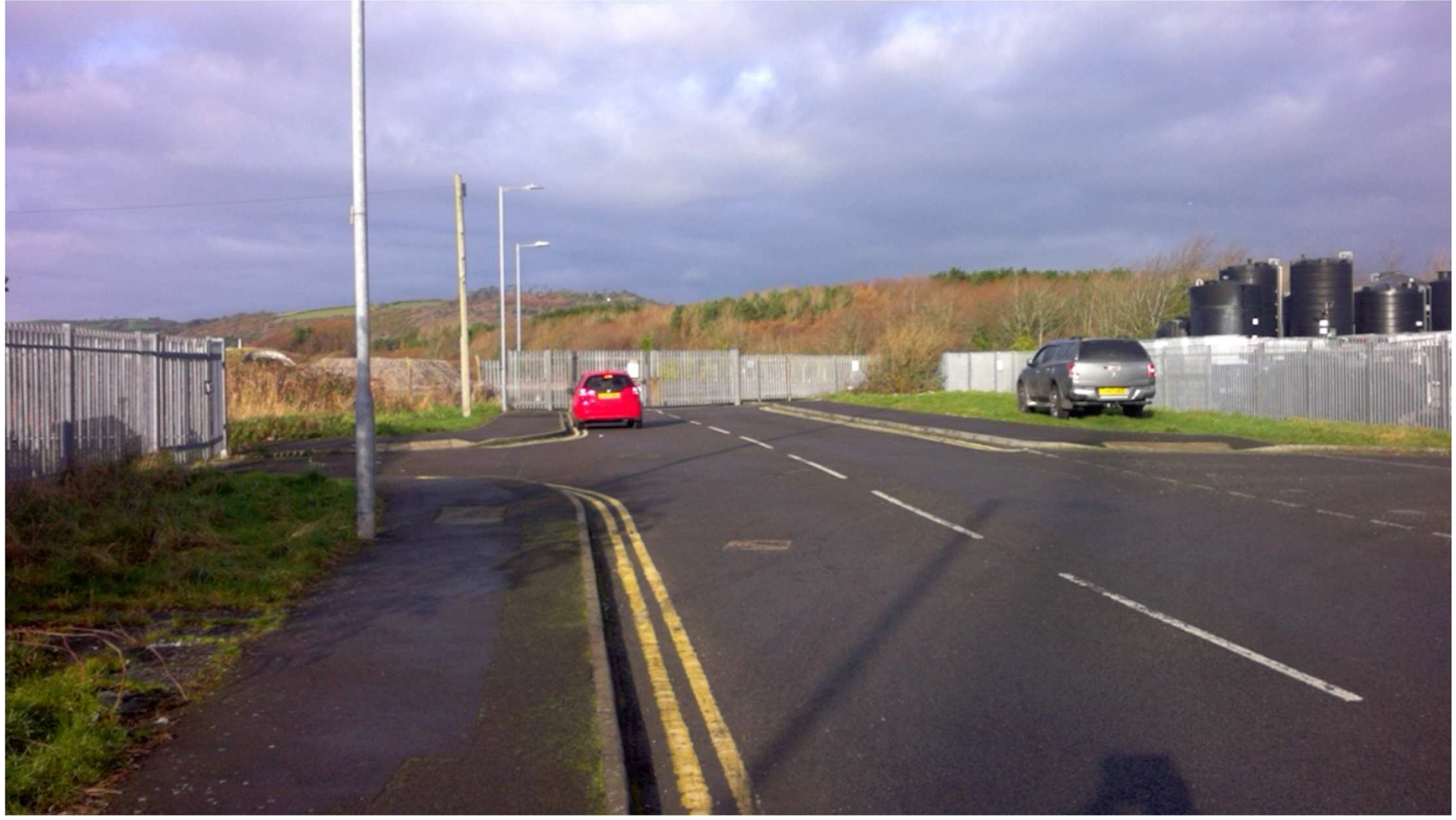
# S/38285



S/38285



# S/38285





**S/38285**



Tudalen 18

**S/38285**



**S/38285**



Tudalen 20

**S/38285**



**S/38285**



Tudalen 22

**S/38285**



**S/38285**



Tudalen 24

# S/38285





Y Pwyllgor  
Cynllunio

Planning  
Committee

**14.01.2020**

**RHANBARTH  
Y DWYRAIN**

**AREA  
EAST**



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# Y Pwyllgor Cynllunio

# Planning Committee

**CEISIADAU YR  
ARGYMHELLIR EU  
BOD YN CAEL EU  
CYMERADWYO**

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Y Pwyllgor  
Cynllunio

Planning  
Committee

E/39454

# E/39454



# E/39454



# E/39454

SITE BOUNDARY  
OUTLINED IN RED



# E/39454



Tudalen 32

# E/39454





# E/39454



Tudalen 33

# E/39454



# E/39454



Tudalen 35

# E/39454



# E/39454



Tudalen 37

# E/39454



**E/39454**



Tudalen 40

# E/39454





**E/39454**



Tudalen 41

# E/39454



**E/39454**



Tudalen 43

Tudalen 44

# E/39454

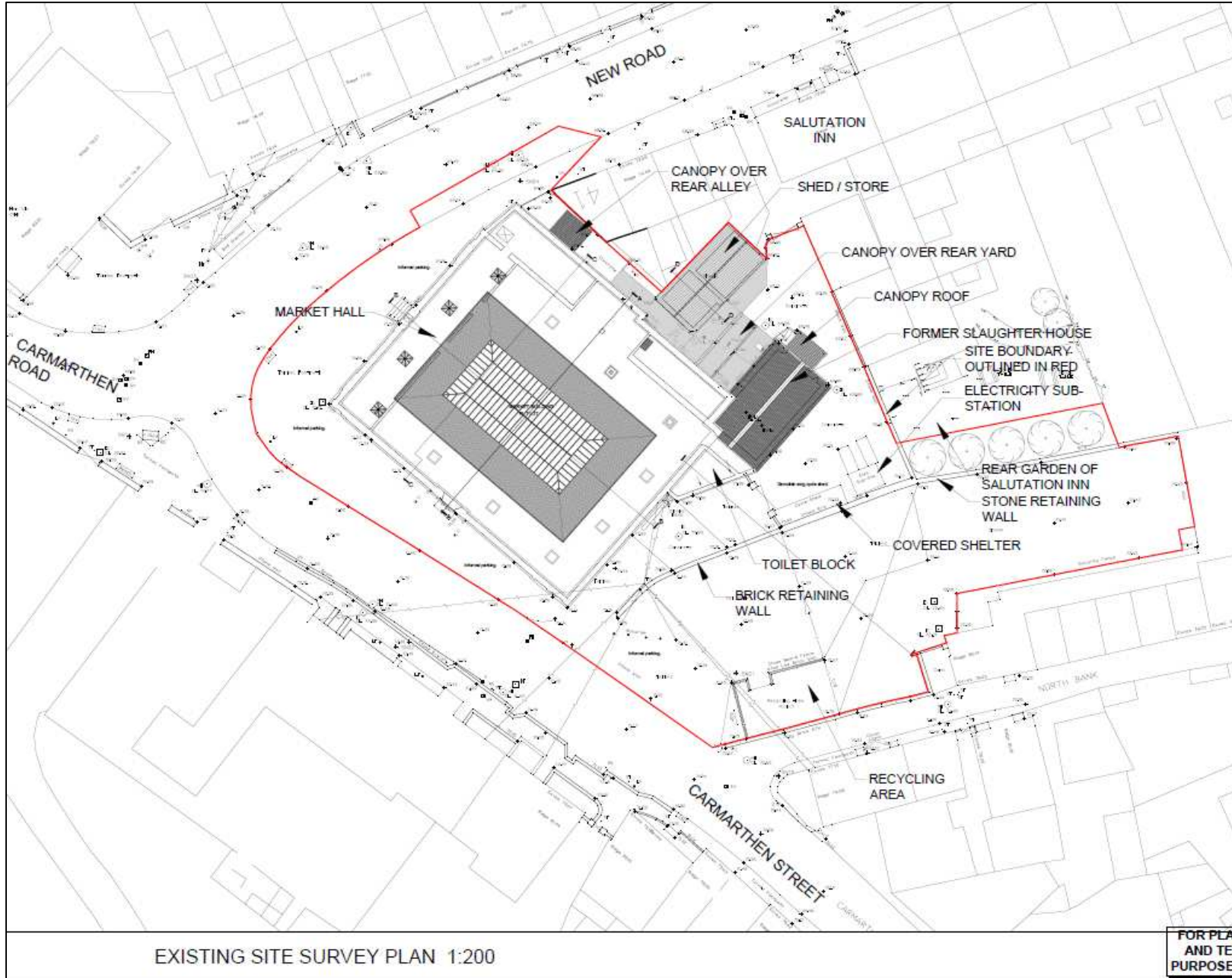


**E/39454**



Tudalen 45

# E/39454



**E/39454**



Tudalen 47

Tudalen 48

# E/39454





# E/39454

## GENERAL STRUCTURE DESCRIPTION / FINISHES ETC.-

### WINDOWS AND DOORS:

Main market hall: Painted metal fixed and casement windows with plain and beveled single glazing. Painted paneled and framed, ledged and braced timber doors, some fitted glazing boards. Painted iron gate.

Store shed: Painted timber framed, ledged and braced doors.

Former slaughter house: Painted timber windows with plastic panes and iron bars. Painted timber framed, ledged and braced doors.

Toilet block: Boarded up windows and doors.

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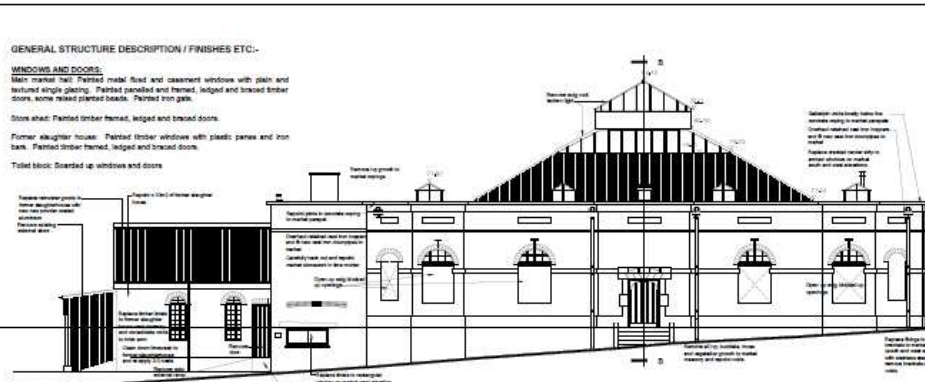
Former slaughter house: Painted timber windows with plastic panes and iron bars. Painted timber framed, ledged and braced doors.

Toilet block: Boarded up windows and doors.

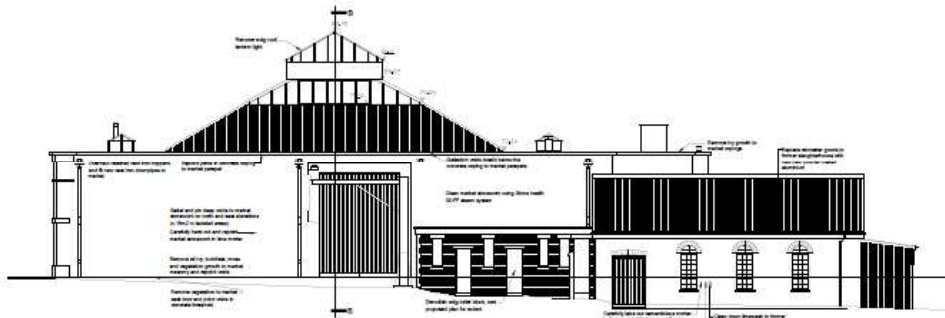
Former slaughter house: Painted timber windows with plastic panes and iron bars. Painted timber framed, ledged and braced doors.

Toilet block: Boarded up windows and doors.

Former slaughter house: Painted timber windows with plastic panes and iron bars. Painted timber framed, ledged and braced doors.



EXISTING SIDE (NORTH WEST) ELEVATION 1:100



EXISTING SIDE (SOUTH EAST) ELEVATION 1:100

## GENERAL STRUCTURE DESCRIPTION / FINISHES ETC.-

### WALLS:

Main market hall: exposed coursed squared stonework laid to hand-drawn brickwork courses with recessed panels and raised ribbon pointing. Stone and concrete sitting and imposed courses. Southern entrance has red sandstone raised and moulded door surround with bayonet arch and depressed aprons. Recessed niche above stone carved letter block. Western entrance has rugged stone surround with flat arched head. Stone vaulted to round arched heads, and concrete leads to large flat heads. Concrete copings and window cills. The rear northern elevation is laid formal with system rubble, set traces of freestone, red sandstone quoins and window surrounds.

Store shed: Exposed random rubble stonework, painted and fair faced brickwork, painted render. Concrete leads.

Former slaughter house: Exposed random rubble stonework and painted render. Stone vaulted to round arched heads and stone cills to windows. Traces of freestone and paint over stone. Carved stone slab plaques. Powder coated corrugated steel store room.

Toilet block: Facing brickwork with concrete leads and cills. Concrete quoins and path course.

Former slaughter house: Exposed random rubble stonework and painted render. Stone vaulted to round arched heads and stone cills to windows. Traces of freestone and paint over stone. Carved stone slab plaques. Powder coated corrugated steel store room.

Toilet block: Facing brickwork with concrete leads and cills. Concrete quoins and path course.

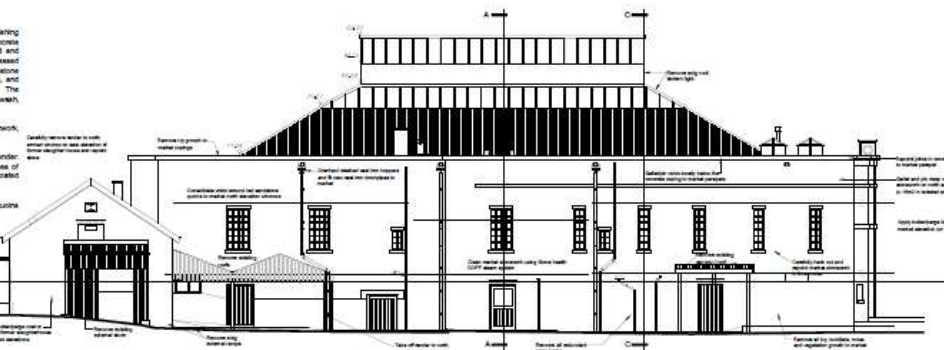
Former slaughter house: Exposed random rubble stonework and painted render. Stone vaulted to round arched heads and stone cills to windows. Traces of freestone and paint over stone. Carved stone slab plaques. Powder coated corrugated steel store room.

Toilet block: Facing brickwork with concrete leads and cills. Concrete quoins and path course.

Former slaughter house: Exposed random rubble stonework and painted render. Stone vaulted to round arched heads and stone cills to windows. Traces of freestone and paint over stone. Carved stone slab plaques. Powder coated corrugated steel store room.

Toilet block: Facing brickwork with concrete leads and cills. Concrete quoins and path course.

Former slaughter house: Exposed random rubble stonework and painted render. Stone vaulted to round arched heads and stone cills to windows. Traces of freestone and paint over stone. Carved stone slab plaques. Powder coated corrugated steel store room.



EXISTING REAR (NORTH EAST) ELEVATION 1:100

## GENERAL STRUCTURE DESCRIPTION / FINISHES ETC.-

### ROOFS:

Main Market hall: asphalt flat roof with solar reflective coating, pitched corrugated fibre cement sheets and glass panels with metal framework, glazed metal lanterns, variety of flues, fibre cement cladding, two red clay chimney pots. Steel roof structure with concrete fill roof supported on steel beams. Lead sheet outlets into cast iron and UPVC hoppers draining into cast iron and UPVC downpipes. UPVC soil and vent pipes and waste hopper.

Store shed: pitched roof covered with natural Welsh slate and artificial slate. 1/2" of waterproofing through coloured blackback clay tile and glazed terracotta, but jointed ridge tiles. Sandcast barge, painted broiler back with UPVC and painted cast iron rainwater goods. Timber roof structure.

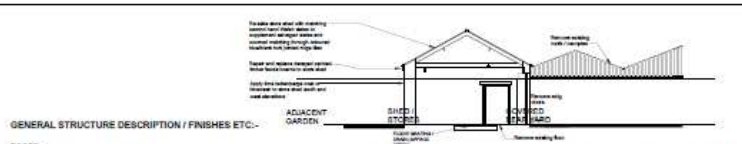
Former Slaughterhouse: Powder coated metal sheet pitched roof covering with angled ridges and verge overbake. Painted broiler back with UPVC rainwater goods. Timber roof structure.

Toilet Block: felted flat roof covered with bitumen and solar reflective covering, UPVC rainwater goods.

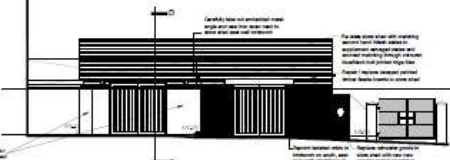
Side Alley: corrugated coated metal and plastic sheeting supported on timber purlins and trusses bearing onto adjoining walls.

Rear Covered Yard: corrugated fibre cement and plastic sheeting supported on timber purlins and trusses bearing onto square hollow section steel poles.

Side Yard Shelter: corrugated metal sheeting with timber purlins bearing onto steel poles. Mortar fill at junction with stone wall.



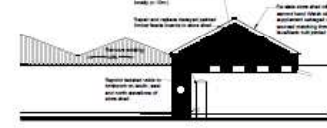
EXISTING SECTION D-D THROUGH SHED / STORES 1:100



EXISTING SHED / STORES SOUTH EAST ELEVATION 1:100



EXISTING SHED / STORES SOUTH WEST ELEVATION 1:100



EXISTING SHED / STORES NORTH EAST ELEVATION 1:100

NOTE: ALL SURVEY INFORMATION / DRAWING ABOVE ROOF PARAPET LEVEL IS BASED ON SURVEY INFORMATION PROVIDED BY JOHN VINCENT SURVEYS USING THEIR SURVEY DRAWINGS DATED AUGUST 2010

DATE: 11/05/19  
 DRAWN BY: JVC  
 CHECKED BY: JVC

EXISTING ELEVATIONS

PROPOSED DEVELOPMENT OF  
 LLANDEILO PROVISIONS MARKET,  
 LLANDEILO, CARMARTHENSHIRE,  
 SA31  
 CARMARTHENSHIRE COUNTY  
 COUNCIL

PEMBROKE DESIGN  
 LIMITED

PROJECT NO: 1100/01  
 DATE: 11/05/19

FOR PLANNING AND TENDER PURPOSES ONLY  
 DATE: MAY 19  
 REF: 9103  
 EDITION: E03 A

# E/39454

**GENERAL STRUCTURE DESCRIPTION / FINISHES ETC.-**

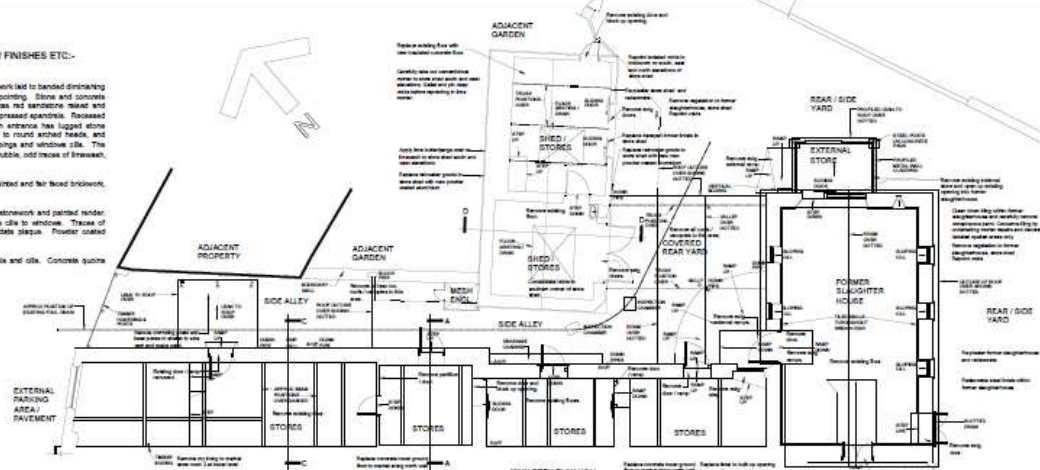
**WALLS**

Main market hall: Exposed coursed squared stonework laid to bonded dimpling courses with recessed panels and raised ribbon pointing. Stone and concrete string and impost courses. Southern entrance has red sandstone masonry and rounded door surround with keywork arch and depressed splay. Recessed niche above stone carved timber block. Western entrance has lugged stone surround with flat arched head. Stone vaulting to round arched heads, and concrete lintels to large flat heads. Concrete copings and window sills. The rear northern elevation is less formal with random rubble, odd traces of limestone, red sandstone quoins and window surrounds.

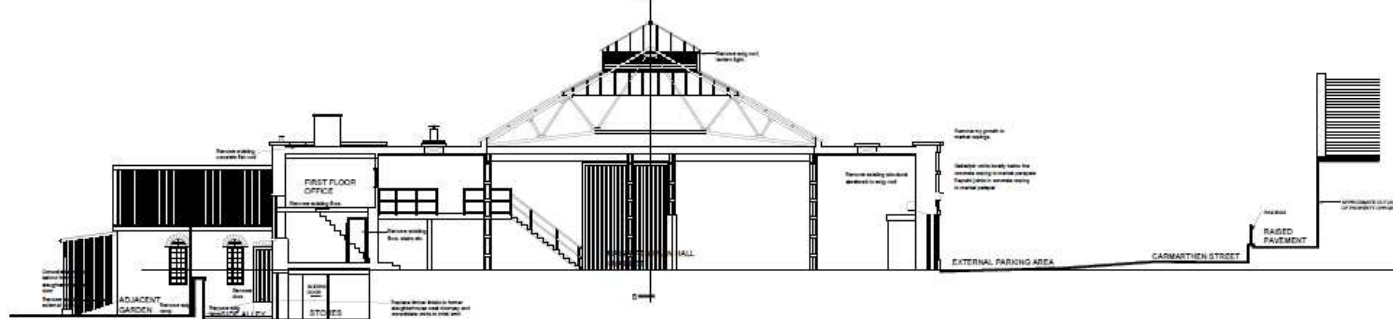
Stone shed: Exposed random rubble stonework, painted and fair faced brickwork, painted render. Concrete lintels.

Former slaughter house: Exposed random rubble stonework and painted render. Stone quoins to round arched heads and stone sills to windows. Traces of limestone and painted over stone. Concrete stone sills splay. Powder coated corrugated steel store room.

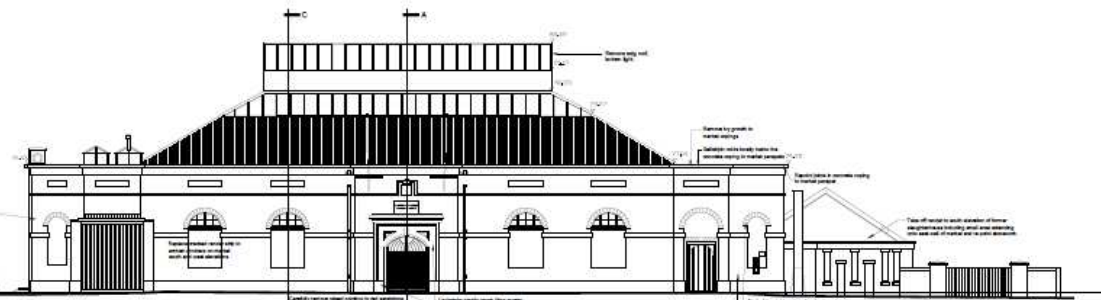
Toll block: Facing brickwork with concrete lintels and sills. Concrete quoins and plinth courses.



EXISTING LOWER GROUND FLOOR PLAN 1:100



EXISTING SECTION A-A 1:100



EXISTING FRONT (SOUTH WEST) ELEVATION 1:100

**GENERAL STRUCTURE DESCRIPTION / FINISHES ETC.-**

**INTERIOR**

Largely modernised with painted plastered walls, some drylined with plasterboard. Traces of limestone under some finishes. Plywood, timber board and painted concrete ceilings with exposed steel beams. Exposed concrete floor and timber board mezzanine timber floors saved by timber stairs. Partitions are a mix of solid painted, plastered brick and concrete block, timber stud with hardboard linings. Fine pieces of historic stained timber can be summarised as follows:

- Thin thickness to north wall of market
- Early C19th painted timber doors with luted glass to market
- Glass blocks to former slaughter house
- Iron latching traps to market

**GENERAL STRUCTURE DESCRIPTION / FINISHES ETC.-**

**WINDOWS AND DOORS**

Main market hall: Painted metal head and casement windows with plain and luted single glazing. Painted casement and framed, ledged and braced timber doors, some raised planted heads. Painted iron gates.

Stone shed: Painted timber framed, ledged and braced doors.

Former slaughter house: Painted timber windows with plastic sashes and iron bars. Painted timber framed, ledged and braced doors.

Toll block: Boarded up windows and doors.

**NOTE: ALL SURVEY INFORMATION / DRAWING ABOVE ROOF PARAPET LEVEL IS BASED ON SURVEY INFORMATION PROVIDED BY JOHN VINCENT SURVEYS USING THEIR SURVEY DRAWINGS DATED AUGUST 2010**

**FOR PLANNING AND TENDER PURPOSES ONLY**

DATE: 11/05/2011  
 DRAWN BY: J. H. H.  
 CHECKED BY: J. H. H.  
 PROJECT: Tudalen 50

EXISTING LOWER GROUND FLOOR PLAN, SECTION A-A & ELEVATION

PROPOSED DEVELOPMENT OF LLANDEILO PROVISIONS MARKET, LLANDEILO, CARMARTHENSHIRE.

CARMARTHENSHIRE COUNTY COUNCIL

PEMBROKE DESIGN LIMITED

PROJECT NO.	11000041	DATE	11/05/2011
CLIENT	20000042	SCALE	A1
PROJECT		NO.	9103
DATE	MAY '19	REVISION	E02 A

**GENERAL STRUCTURE DESCRIPTION / FINISHES ETC.-**

**ROOFS**

Main Market hall: pitched flat roof with solar reflective coating, pitched corrugated fibre cement sheath and glass panels within metal framework, glazed metal lanterns, variety of flues, fire cement cladding, two red clay chimney pots. Steel roof structure with concrete flat roof supported on steel beams. Lead lined outside into cast iron and UPVC hoppers draining into cast iron and UPVC downpipes. UPVC soil and vent pipes and waste hopper.

Stone shed: pitched roof covered with natural Water slate and artificial slates. Mix of interlocking through coloured bush-hack clay tiles and glazed terracotta bull jointed ridge tile. Randomly barge, painted broiler heads with UPVC and painted cast iron rainwater goods. Timber roof structures.

Former Slaughterhouse: Powder coated metal sheet pitched roof covering with angled ridges and verge fascias. Painted timber barge with UPVC rainwater goods. Timber roof structures.

Toll Block: tiled flat roof covered with bitumen and solar reflective coverings, UPVC rainwater goods.

Side Alley: corrugated coated metal and plastic sheathing supported on timber posts and purlins bearing onto adjoining walls.

Rear Covered Yard: corrugated fibre cement and plastic sheathing supported on timber purlins and beams bearing onto square hollow section steel posts.

Side Yard Shed: corrugated metal sheathing with timber purlins bearing onto steel posts. Motor fuel jet junction with white seal.





# E/39454

**WALLS:**

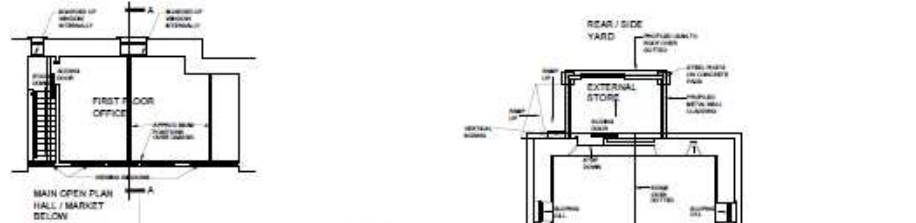
Main market hall: exposed coursed squared stonework and banded dimishing courses with recessed panels and raised ribbon pointing. Stone and concrete string and impost courses. Southern entrance has red sandstone raised and moulded door surround with keystone arch and depressed spandrel. Recessed niche above stone carved letter block. Western entrance has lagged stone surround with flat arched head. Stone vousoirs to round arched heads, and concrete lintels to large flat heads. Concrete copings and window sills. The rear northern elevation is less formal with random rubble, odd traces of limewash, red sandstone quoins and window surrounds.

Stone shed: Exposed random rubble stonework, painted and fair faced brickwork, painted render. Concrete lintels.

Former slaughter house: Exposed random rubble stonework and painted render. Stone vousoirs to round arched heads and stone sills to windows. Traces of limewash and paint over stone. Carved stone date plaques. Powder coated corrugated steel store room.

Toilet block: Facing brickwork with concrete lintels and sills. Concrete quoins and plinth courses.

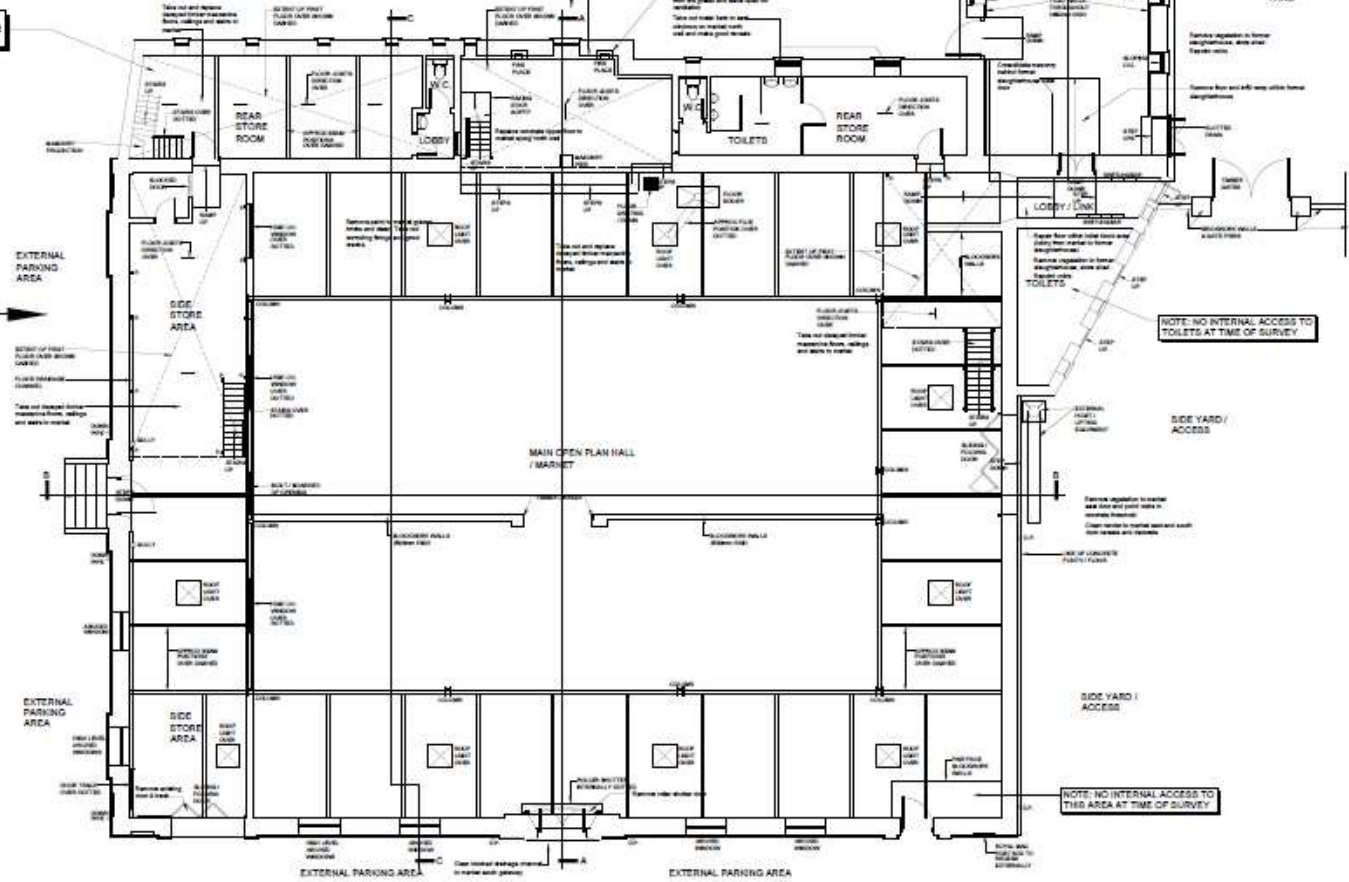
EXISTING FIRST FLOOR PLAN (OVER) 1:100



NOTE: THIS AREA OF FIRST FLOOR PLAN NOT ACCESSIBLE AT TIME OF SURVEY DUE TO POOR CONDITION OF STAIRS / FLOORS



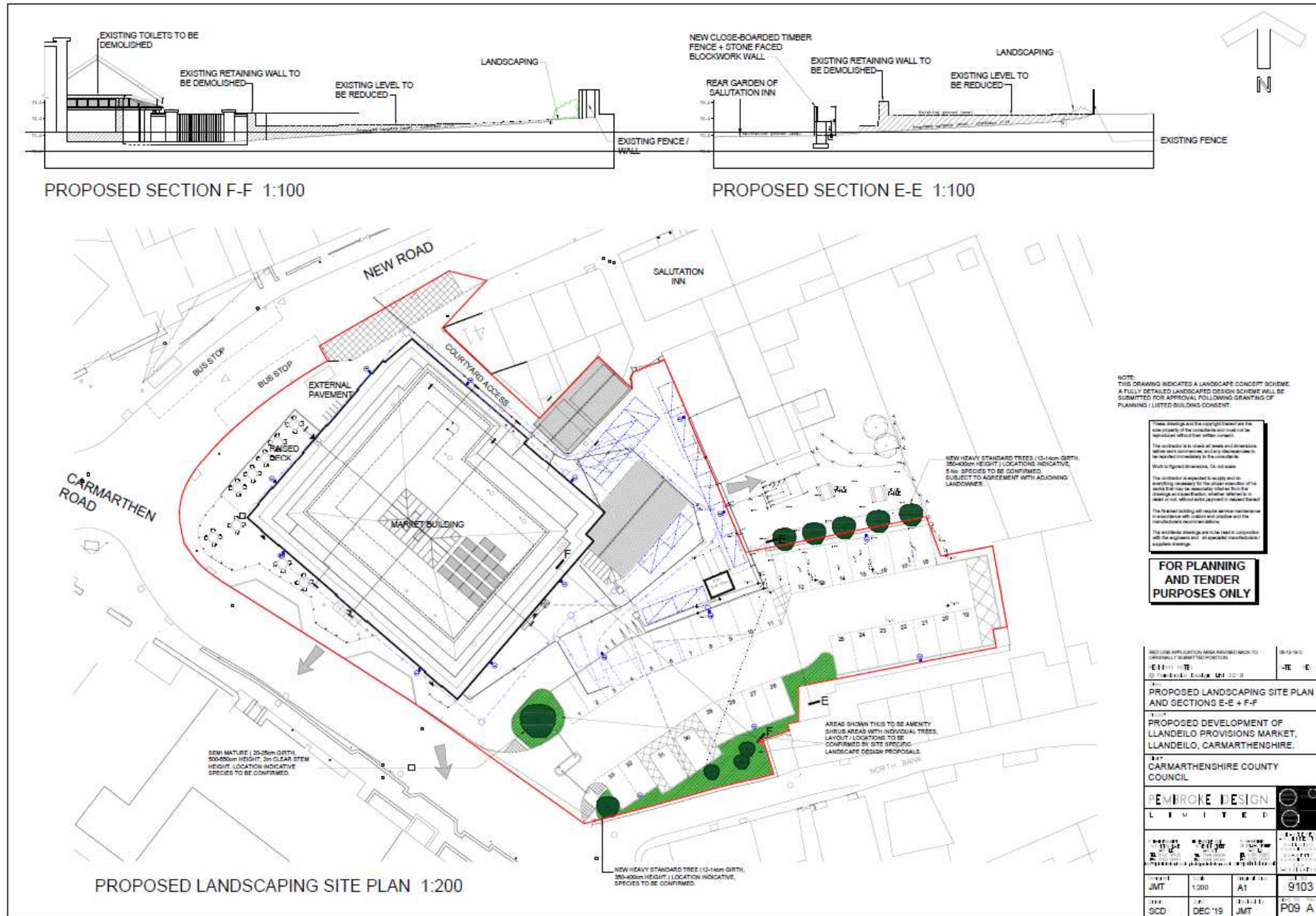
EXISTING FIRST FLOOR PLAN (OVER) 1:100



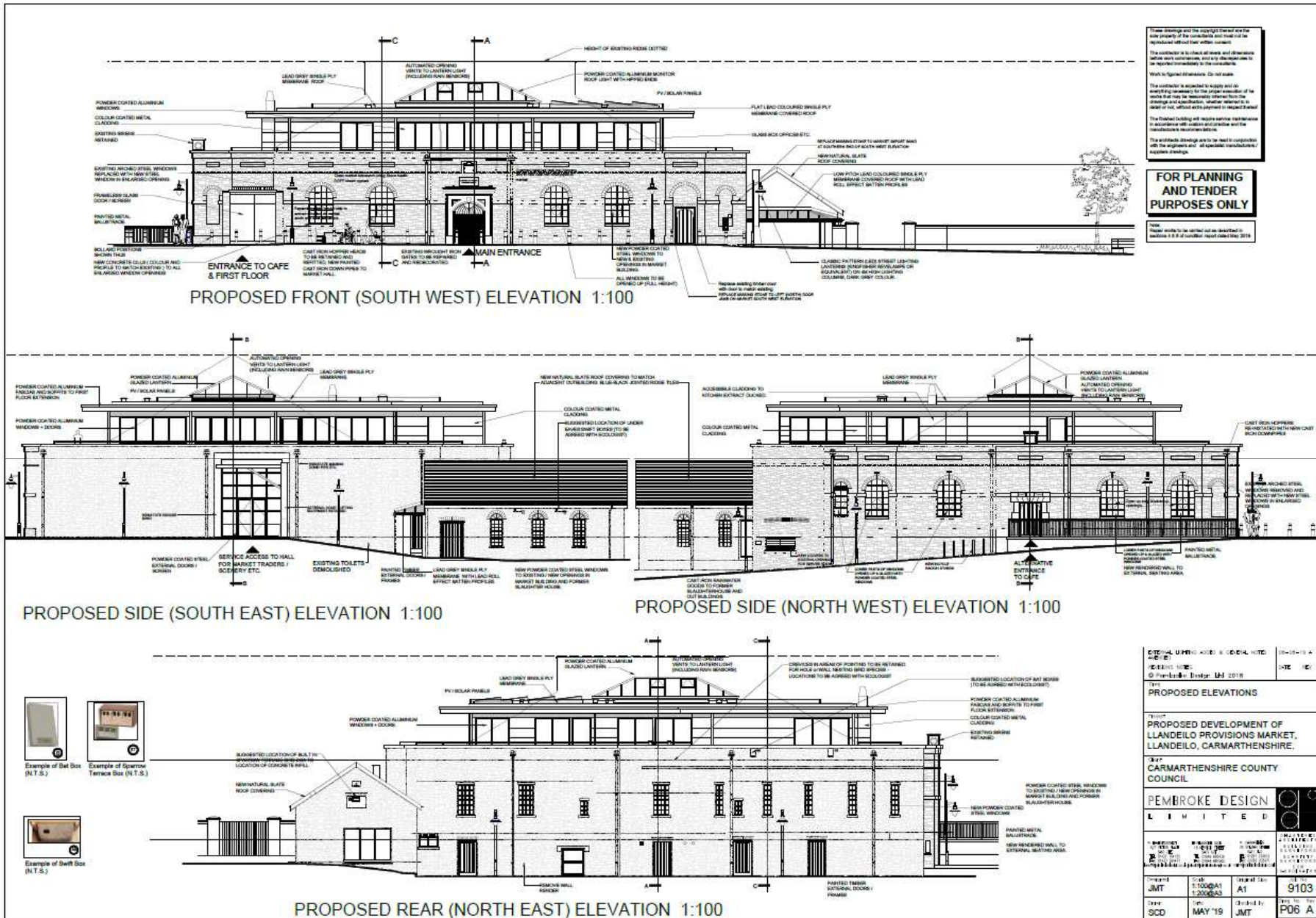
EXISTING GROUND FLOOR PLAN 1:100



# E/39454



# E/39454



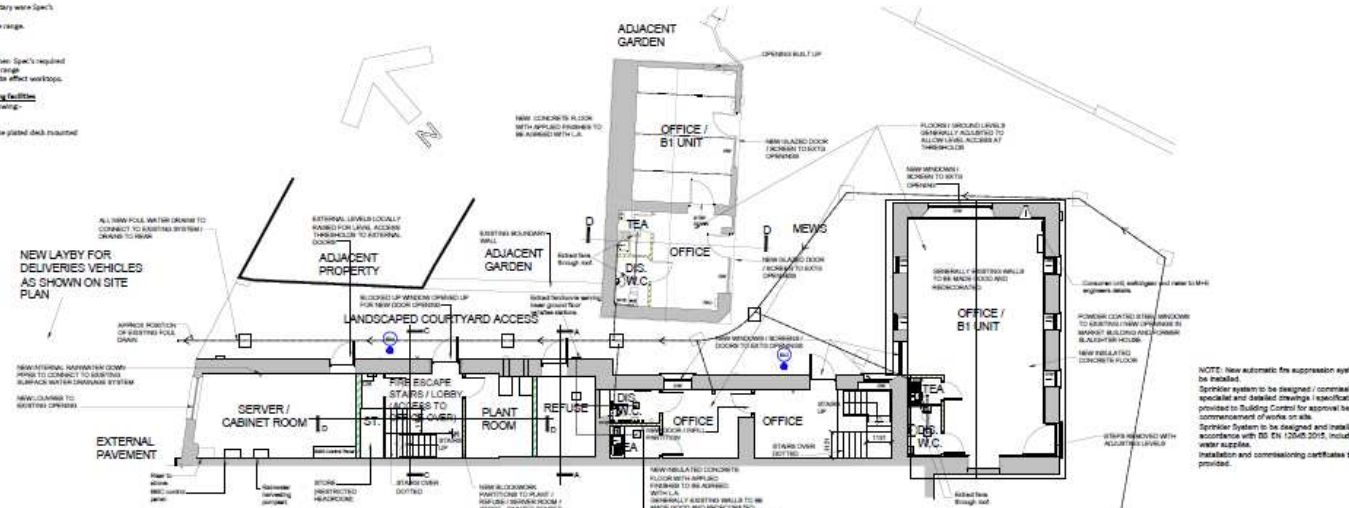


# E/39454

Refer to Appendix B.9 for Secretary work Spec's required.  
 Archaic Details Secretary work range.

Refer to Appendix B.9 for Etcetera Spec's required.  
 Handicap Access, Greenwash range.  
 White Gloss Doors, Black granite effect worktops.

**Lower ground Level Tea making facilities**  
 Provisionally allow for the following:  
 2000mm x 600mm Sink basin and  
 2000mm x 600mm Drain basin unit  
 2000mm x 600mm x 100mm x 100mm x 100mm x 100mm  
 1 length worktop  
 2000mm x 600mm wall unit



PROPOSED LOWER GROUND FLOOR PLAN 1:100

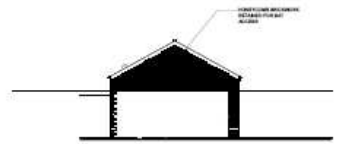
**KEY TO NEW PARTITION/WALL TYPES**

- 200MM BLOCKWORK, PAINTED PLASTER FINISH
- 100MM BLOCKWORK, PAINTED PLASTER FINISH
- BLOCKWORK SILL WALL TO MATCH THICKNESS OF EXISTING, APPROX 200MM
- NEW BLOCKWORK CAVITY WALL (2 BRICKS) 100MM FINISH BLOCKWORK, 100MM CAVITY WITH 25MM POLYSTYRENE INSULATION, 100MM FINISH BLOCKWORK EXTERNAL FACE, PAINTED PLASTER FINISH FACE
- NEW METAL STUD PARTITION WITH AN ANCHORED RAINFALL IS TO MATCH EXISTING WALLS

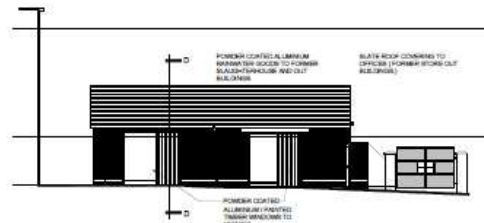
**NOTE:** New automatic fire suppression system to be installed.  
 Sprinkler system to be designed / commissioned by specialist and detailed drawings / specification to be provided to Building Control for approval before commencement of works on site.  
 Sprinkler System to be designed and installed in accordance with BS EN 12064:2016, including water supply.  
 Installation and commissioning certificates to be provided.



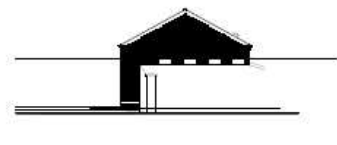
PROPOSED SECTION D-D THROUGH MEWS OFFICE 1:100



PROPOSED MEWS OFFICE SOUTH WEST ELEVATION 1:100



PROPOSED MEWS OFFICE SOUTH EAST ELEVATION 1:100



PROPOSED MEWS OFFICE NORTH EAST ELEVATION 1:100

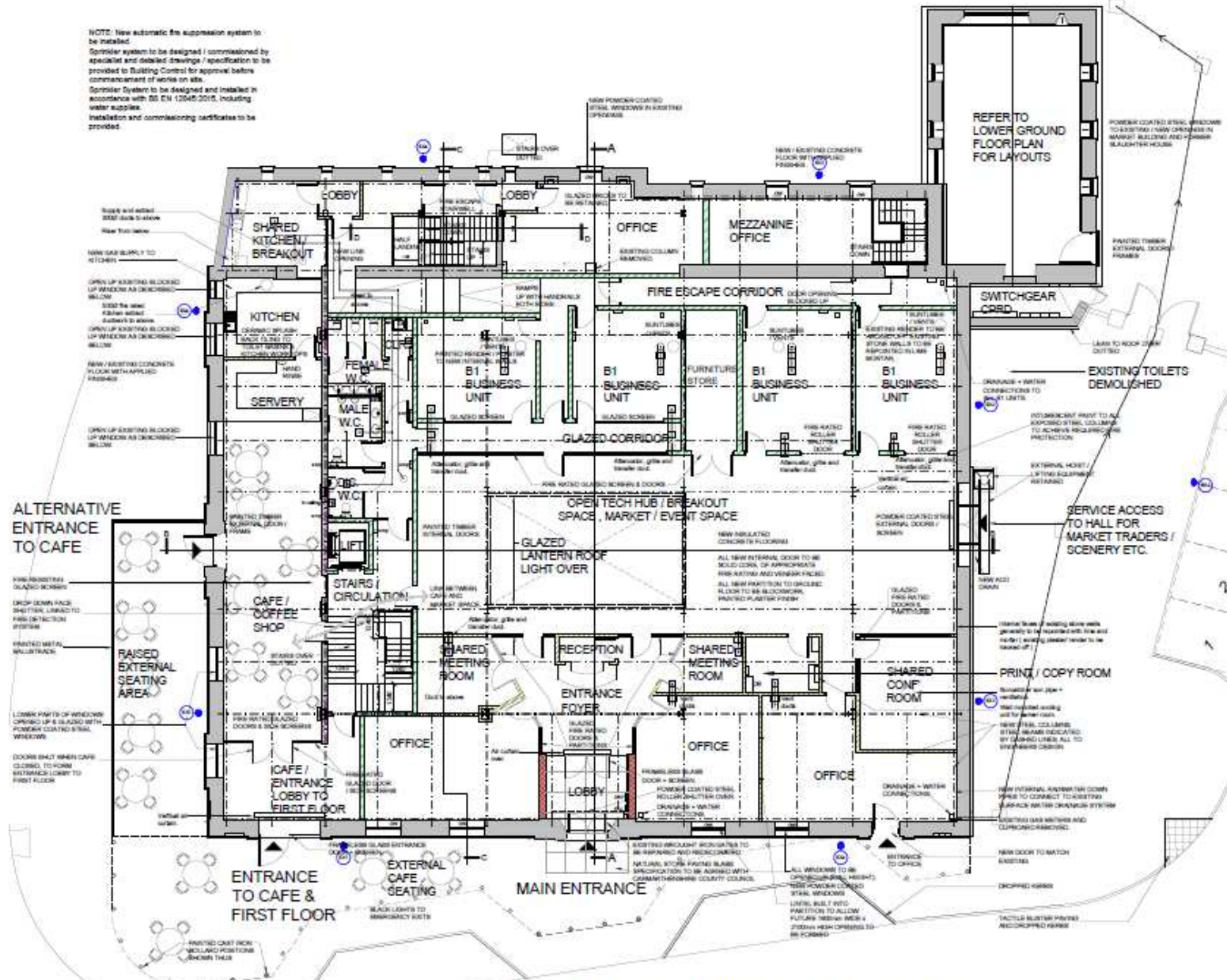
These drawings are to be used only for the purposes of the planning application and are not to be used for any other purpose.  
 The contractor shall check all levels and dimensions before work commences and any alterations to be made shall be made to the contractor's satisfaction.  
 The finished building shall require suitable maintenance in accordance with design and practice and the manufacturer's recommendations.  
 The architect's drawings are to be used in conjunction with the program and all specialist trade work shall be completed in accordance with the program.

**FOR PLANNING AND TENDER PURPOSES ONLY**

PROJECT: PROPOSED DEVELOPMENT OF LLADEILO PROVISIONS MARKET, LLADEILO, CARMARTHENSHIRE COUNTY COUNCIL CLIENT: CARMARTHENSHIRE COUNTY COUNCIL DATE: 12th March 2019		DRAWING NO: P04 A SCALE: 1:100
PROPOSED LOWER GROUND FLOOR PLAN & ELEVATIONS		
PROJECT: PROPOSED DEVELOPMENT OF LLADEILO PROVISIONS MARKET, LLADEILO, CARMARTHENSHIRE COUNTY COUNCIL		
CLIENT: CARMARTHENSHIRE COUNTY COUNCIL		
ARCHITECT: PEMROKE DESIGN LIMITED		
PROJECT NO: 11000A1 DRAWING NO: 11000A1A3	SCALE: A1	DATE: 9103 DRAWN BY: JMT CHECKED BY: JMT
PROJECT NO: 11000A1 DRAWING NO: 11000A1A3	DATE: MAY '19	DRAWING NO: P04 A

# E/39454

NOTE: New automatic fire suppression system to be installed.  
 Sprinkler system to be designed / commissioned by specialist and detailed drawings / specification to be provided to Building Control for approval before commencement of works on site.  
 Sprinkler System to be designed and installed in accordance with BS EN 12549:2015, including water supplies.  
 Installation and commissioning certificates to be provided.

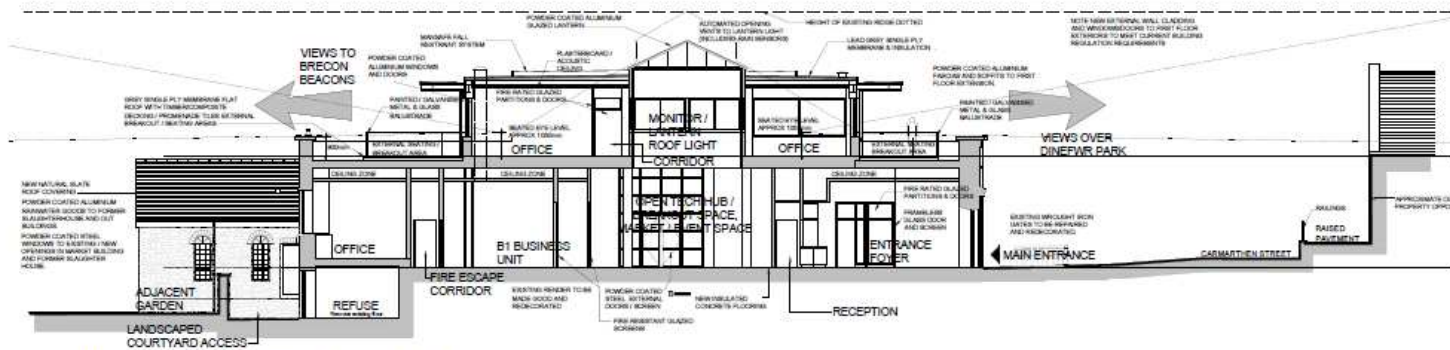


PROPOSED GROUND FLOOR PLAN 1:100

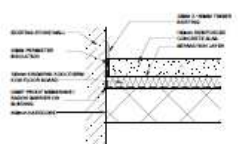




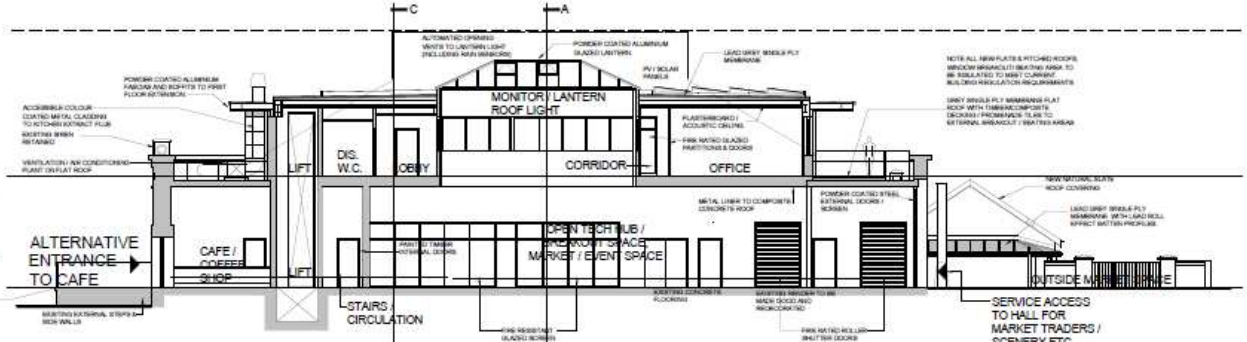
# E/39454



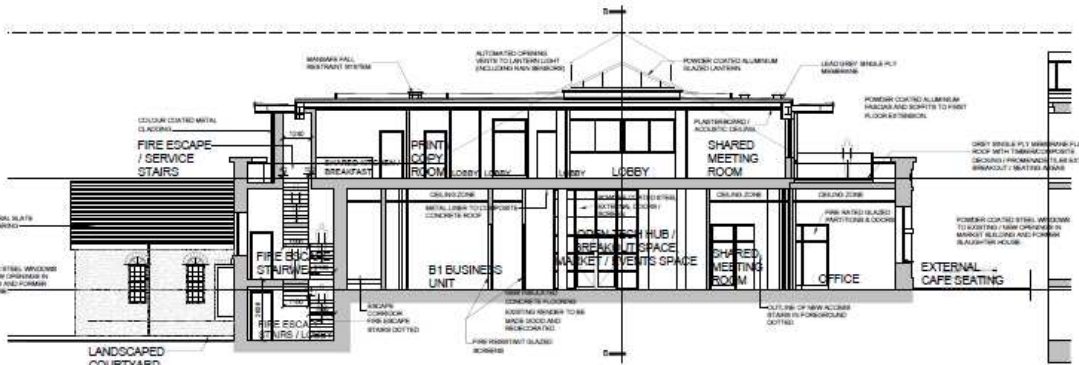
PROPOSED SECTION A-A 1:100



INDICATIVE GROUND FLOOR DETAIL 1:20 (SUBJECT TO STRUCTURAL ENGINEER'S DESIGN)



PROPOSED SECTION B-B 1:100



PROPOSED SECTION C-C 1:100



PROPOSED SECTION D-D 1:100

**NOTE**  
 Please note that the drawings are intended for the use of the Council and are not to be used for any other purpose without the written consent of the Council.  
 The Council is not liable for any loss or damage arising from the use of the drawings for any purpose other than that for which they were prepared.  
 The Council is not liable for any loss or damage arising from the use of the drawings for any purpose other than that for which they were prepared.  
 The Council is not liable for any loss or damage arising from the use of the drawings for any purpose other than that for which they were prepared.

**FOR PLANNING AND TENDER PURPOSES ONLY**

<b>PROPOSED SECTIONS A-A, B-B &amp; C-C AND GROUND FLOOR DETAIL</b>	
<b>PROPOSED DEVELOPMENT OF LLANDEILO PROVISIONS MARKET, LLANDEILO, CARMARTHENSHIRE.</b>	
<b>CARMARTHENSHIRE COUNTY COUNCIL</b>	
<b>REMBROKE DESIGN LIMITED</b>	
PROJECT NO: E/39454 DATE: 11/05/19 DRAWN BY: JMT CHECKED BY: JMT	SHEET NO: A1 TOTAL SHEETS: 10 DATE: 11/05/19 DRAWN BY: JMT
9103	P05 A

Tudalen 61

Mae'r dudalen hon yn wag yn fwriadol

*Ardal Del/  
Area South*

**ADRODDIAD PENNAETH  
CYNLLUNIO,  
CYFARWYDDIAETH YR  
AMGYLCHEDD**

**REPORT OF THE  
HEAD OF PLANNING,  
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO  
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY  
COUNCIL'S PLANNING COMMITTEE**

**AR 14 IONAWR 2020  
ON 14 JANUARY 2020**

**I'W BENDERFYNU/  
FOR DECISION**

**ATODIAD  
ADDENDUM**



## ADDENDUM – Area South

<i>Application Number</i>	<b>S/39644</b>
<i>Proposal &amp; Location</i>	PROPOSED FRONT AND REAR EXTENSION WITH NEW DORMER WINDOWS, LIFTING OF EXISTING RIDGE LINE BY 350MM AND ROOF PITCH CHANGE AT 43 PEN LLWYN GWYN ROAD, BRYN, LLANELLI, SA14 9UH

### DETAILS:

The applicants have submitted a Supporting Statement along with the planning application for consideration by Planning Committee providing further information regarding the requirement for the proposed extension at the property.

A copy of the Supporting Statement has been published online at the applicants request and reads as follows:

*Please consider the following information when considering our application.*

*We are a young family with strong family ties within the area seeking to set up home with our children in an area which holds significant sentimental value.*

*As a family with three children, one of whom is disabled we ask that you take into account the requirements of a child with autism and attention deficit hyperactivity disorder and the impact his condition has upon his sibling's sleep requirements. Our son has special sleep related routines as a result of his conditions, these cause disruption to his sibling. We therefore require the additional bedrooms requested so that nighttime routines and special needs can be met to ensure a restful and safe night's sleep for all.*

*In addressing the neighbours who have put in objections we must state that all objections come from one household. This particular home, once a two bedroom bungalow, now being a two storey dwelling which has in recent years been extended to both the front and rear to include extra bedrooms and a bathroom to the first floor. It also has three velux roof windows which overlook their neighbours. The height of the roof to this property was also raised at the time of extension and is higher than we have requested in our application.*

*There have been no objections from the notifiable consultees, there are numerous supportive comments, including comments from our local councillor. We have made all alterations requested of us by planning officials in order to comply with the local development plan policy. And thus our application arrives with yourselves with a recommendation for approval from planning. We feel we have been fair and considerate to all involved and hope that the committee will recognise this when considering our application.*



## ADDENDUM – Area South

<i>Application Number</i>	<b>S/39750</b>
<i>Proposal &amp; Location</i>	1) NEW SINGLE STOREY EXTENSION TO THE REAR 2) EXISTING GARAGE, UTILITY ROOM AND SHED TO BE DEMOLISHED AND REPLACED WITH NEW GROUND FLOOR EXTENSION TO PROVIDE NEW KITCHEN/DINING ROOM AND UTILITY ROOM. 3) EXISTING SIDE ENTRANCE PORCH TO BE DEMOLISHED AND REPLACED WITH NEW ENTRANCE PORCH AT 37 OAKLANDS, LLANELLI, SA14 8DE

### DETAILS:

## Consultations

**Local Member(s)** – Following receipt of the amended plans and description of development Councillor Giles Morgan has removed his original objection.

Mae'r dudalen hon yn wag yn fwriadol

Y Pwyllgor  
Cynllunio

Planning  
Committee

**14.01.2020**

**RHANBARTH  
Y DE**

**AREA  
SOUTH**



**EICH CYNGOR arleinamdani**  
[www.sirgar.llyw.cymru](http://www.sirgar.llyw.cymru)

**YOUR COUNCIL doitonline**  
[www.carmarthenshire.gov.wales](http://www.carmarthenshire.gov.wales)

# Y Pwyllgor Cynllunio

# Planning Committee

**CEISIADAU YR  
ARGYMHELLIR EU  
BOD YN CAEL EU  
CYMERADWYO**

**APPLICATIONS  
RECOMMENDED  
FOR APPROVAL**



**EICH CYNGOR arleinamdani**  
[www.sirgar.llyw.cymru](http://www.sirgar.llyw.cymru)

**YOUR COUNCIL doitonline**  
[www.carmarthenshire.gov.wales](http://www.carmarthenshire.gov.wales)

Y Pwyllgor  
Cynllunio

Planning  
Committee

S/39358

Tudalen 70

# S/39358





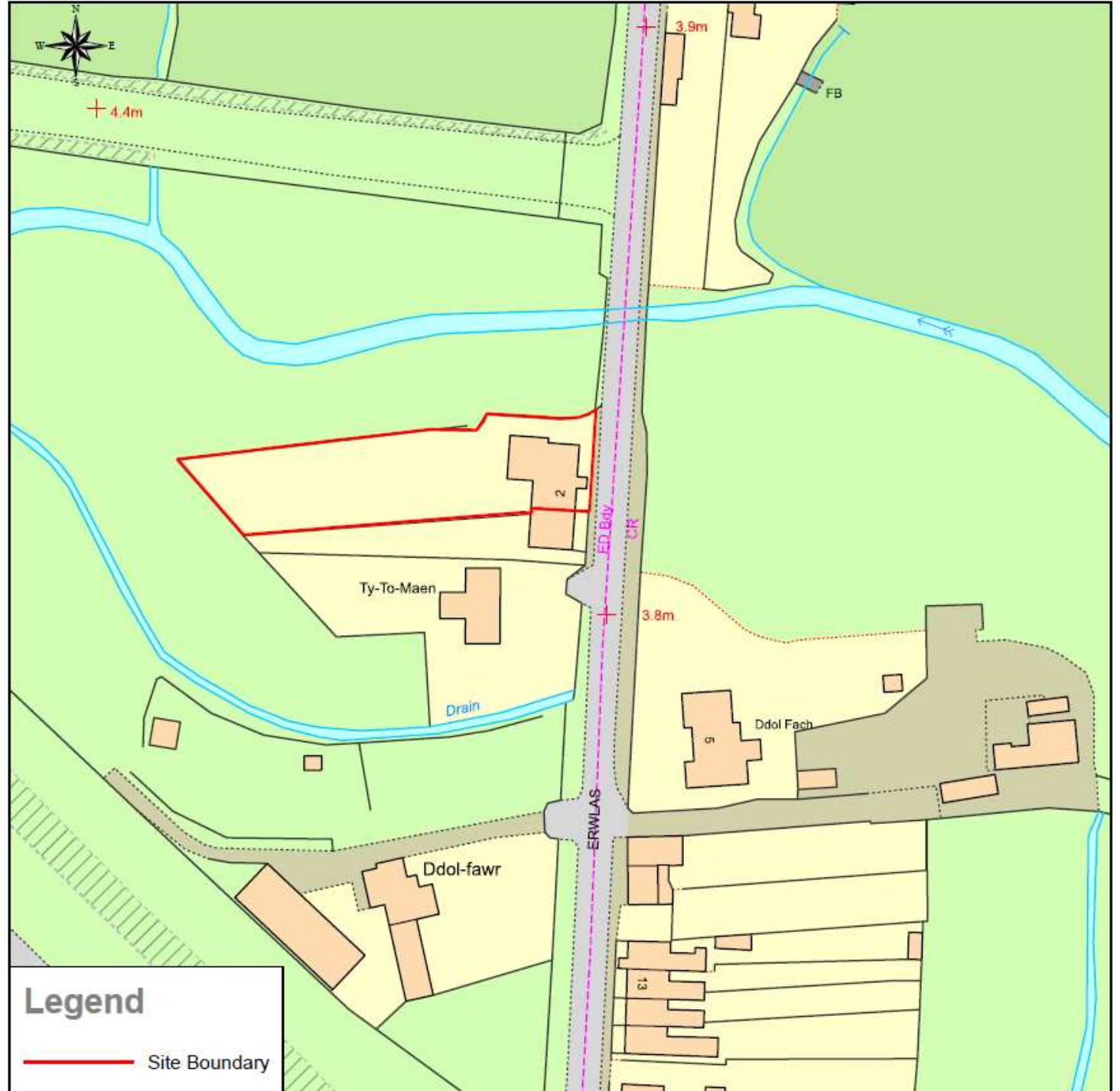
**S/39358**

Tudalen 72



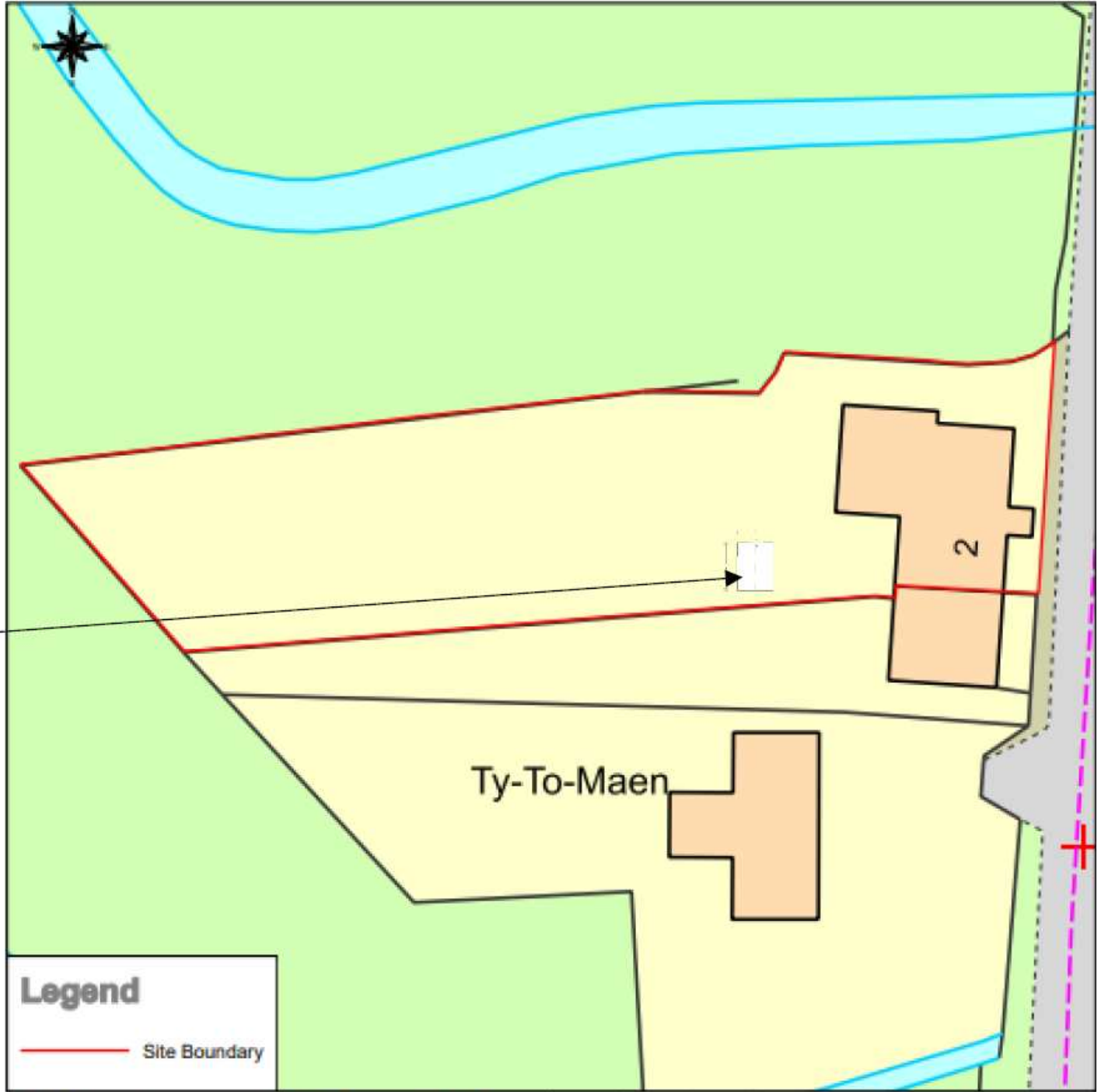


# S/39358



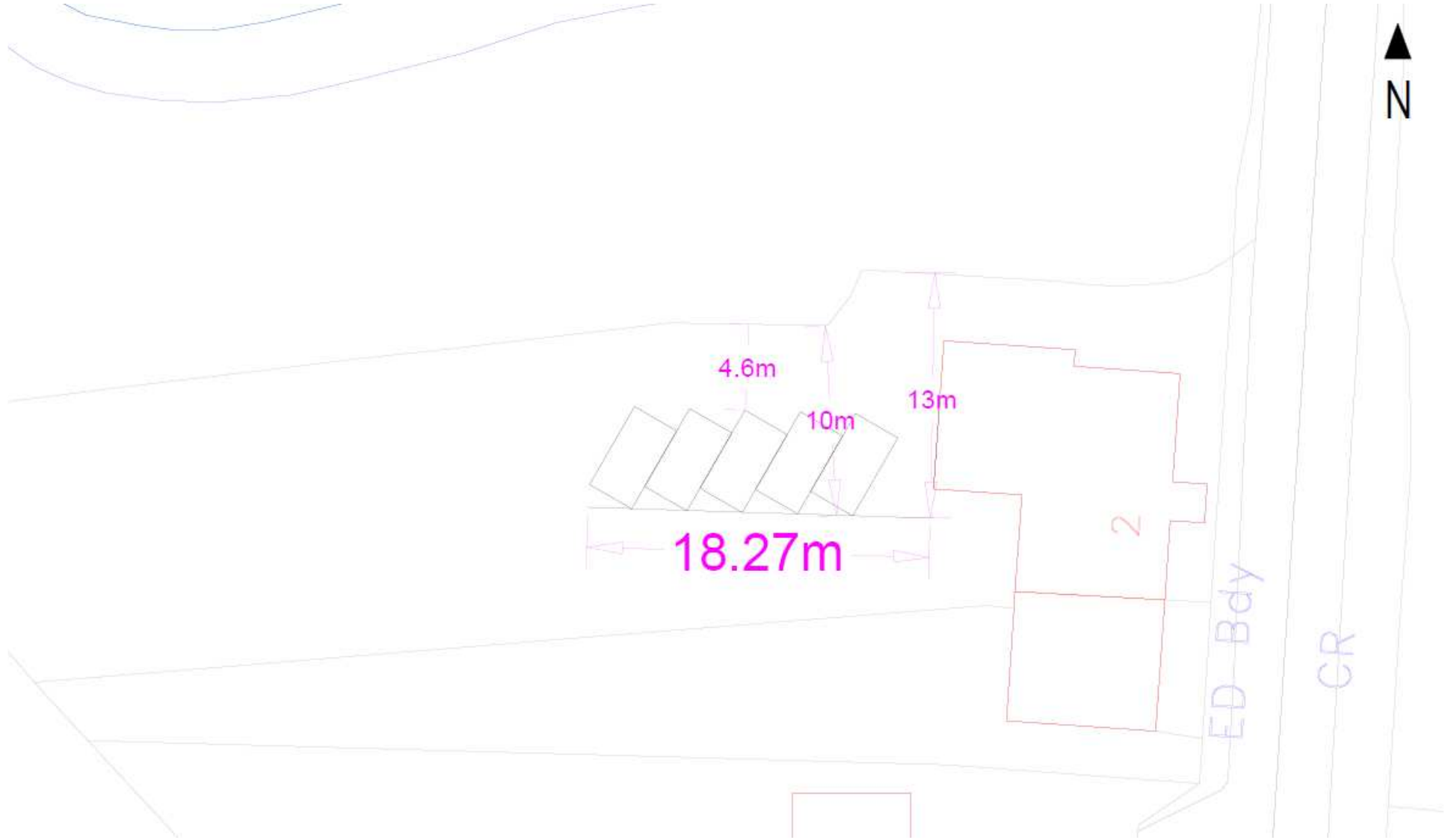
# S/39358

Proposed  
Bike Shed



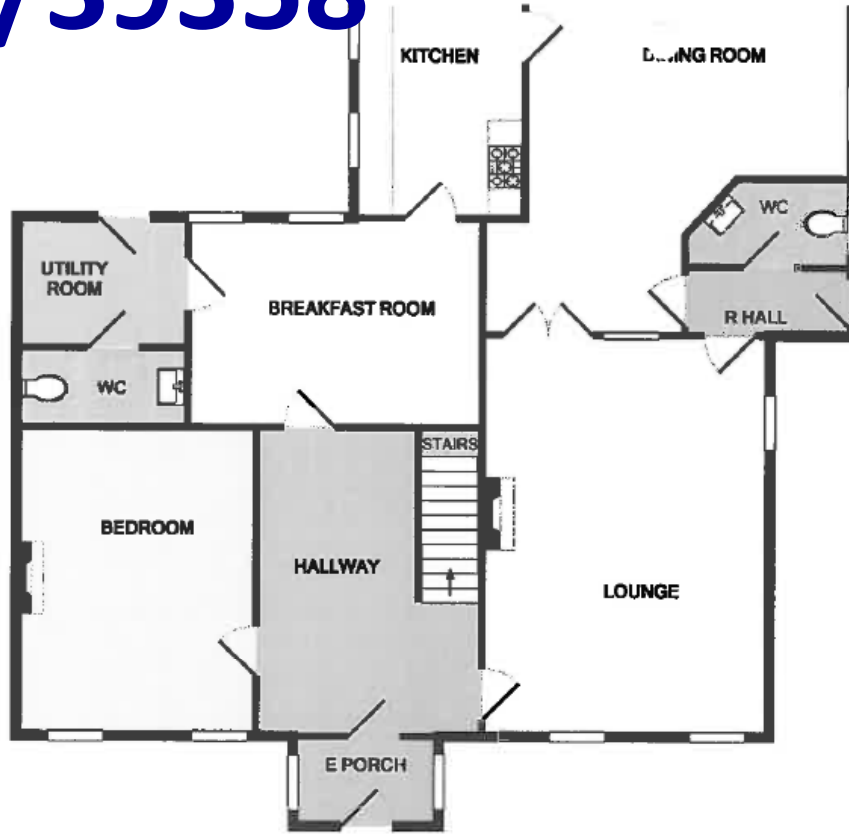
# S/39358

Tudalen 75

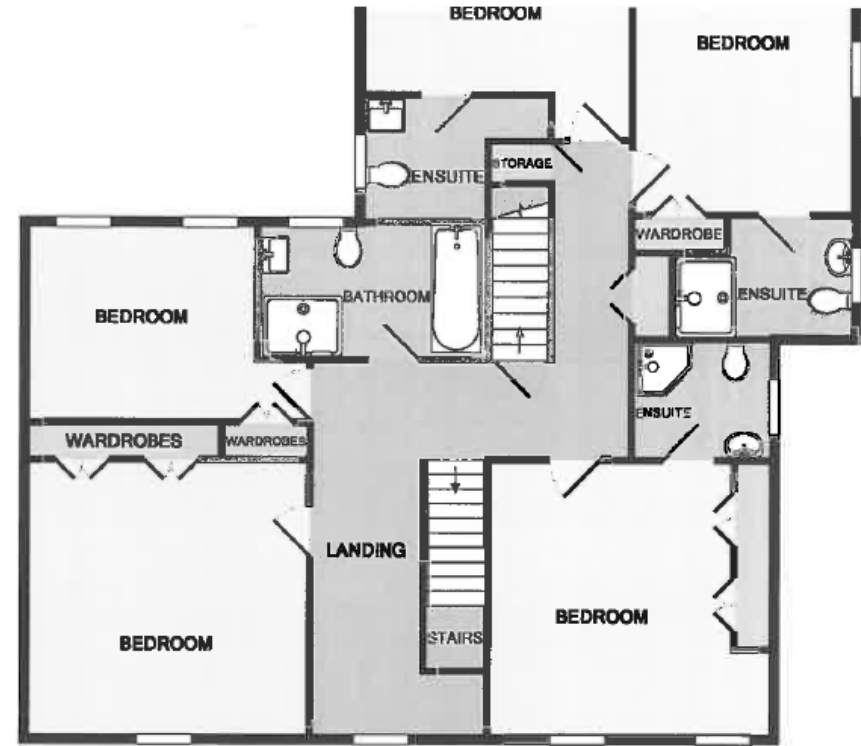


Tudalen 76

# S/39358



GROUND FLOOR  
APPROX. FLOOR  
AREA 1289 SQ.FT.  
(119.7 SQ.M.)



1ST FLOOR  
APPROX. FLOOR  
AREA 1258 SQ.FT.  
(116.9 SQ.M.)  
TOTAL APPROX. FLOOR AREA 2839 SQ.FT. (263.7 SQ.M.)

Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantees as to their operability or efficiency can be given.  
Made with Metropix 92019



S/39358



Tudalen 77

Tudalen 78

S/39358



S/39358



Tudalen 79

Tudalen 80

S/39358





S/39358



Tudalen 81

Tudalen 82

S/39358



S/39358



Tudalen 83



S/39358

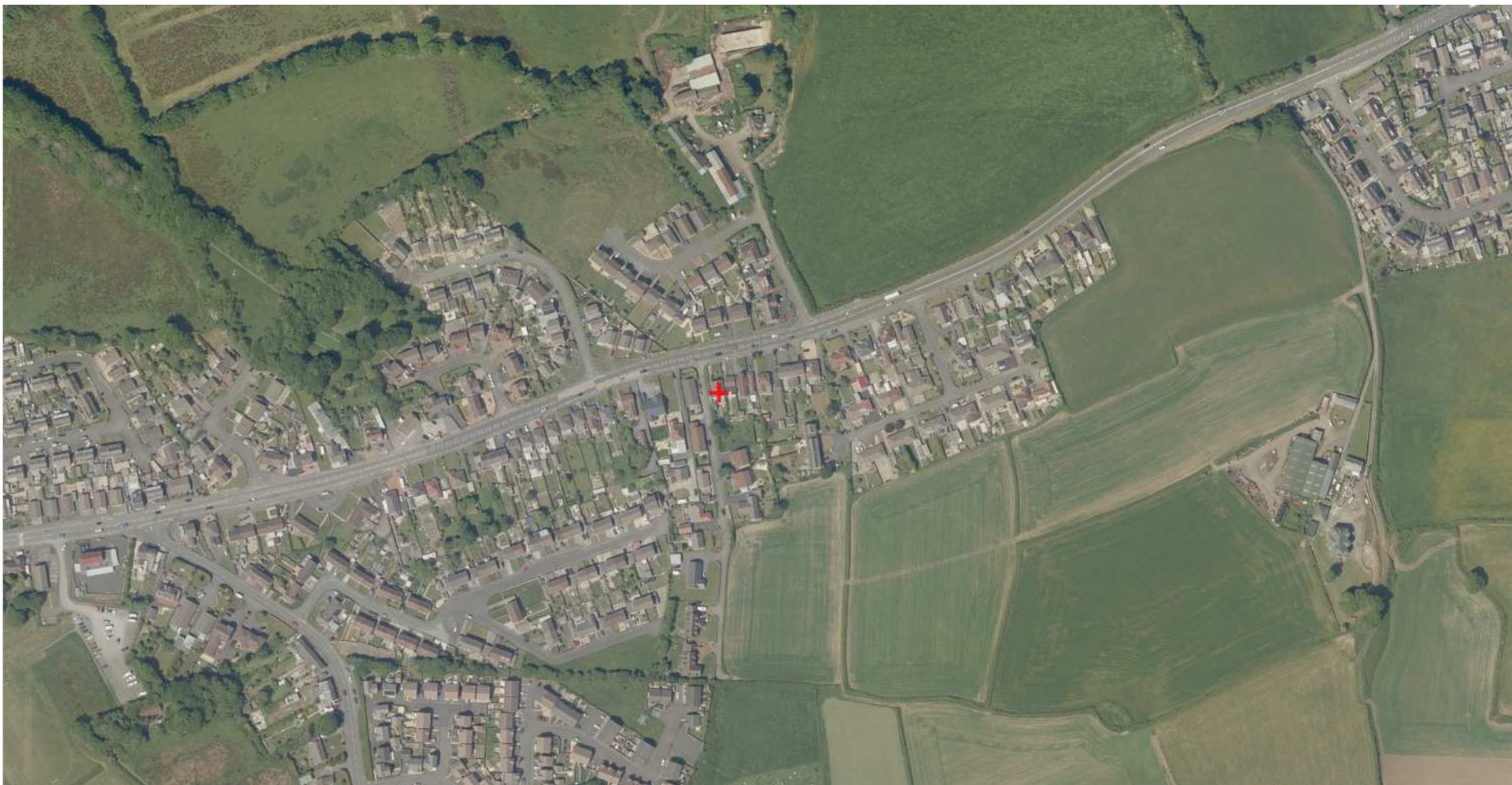
Y Pwyllgor  
Cynllunio

Planning  
Committee

S/39644

Tudalen 86

# S/39644



# S/39644



Tudalen 88

# S/39644





# S/39644

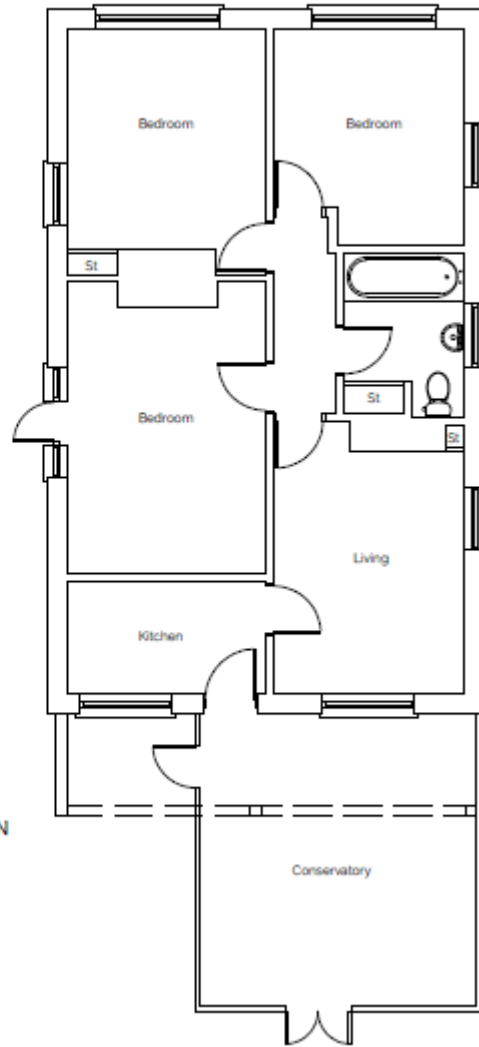


Tudalen 90

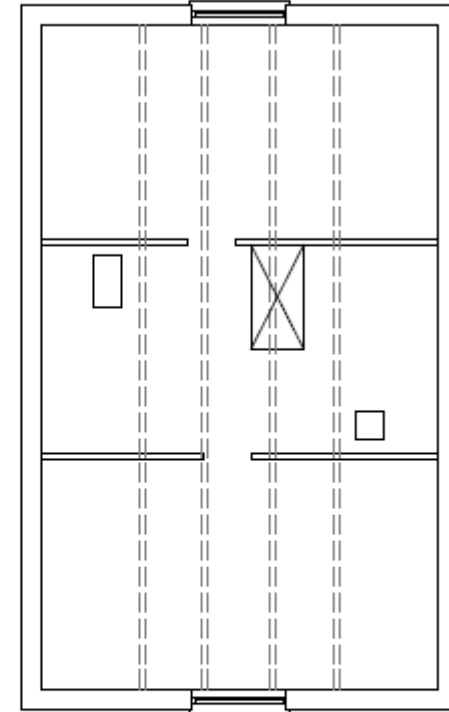
# S/39644



# S/39644

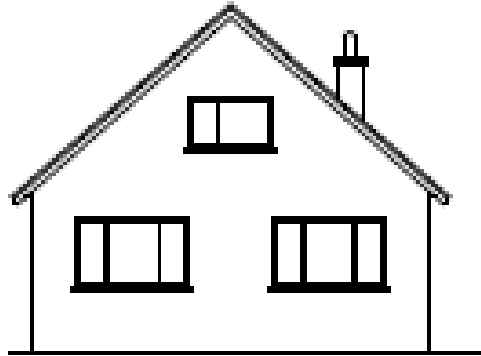


GROUND FLOOR PLAN



FIRST FLOOR PLAN

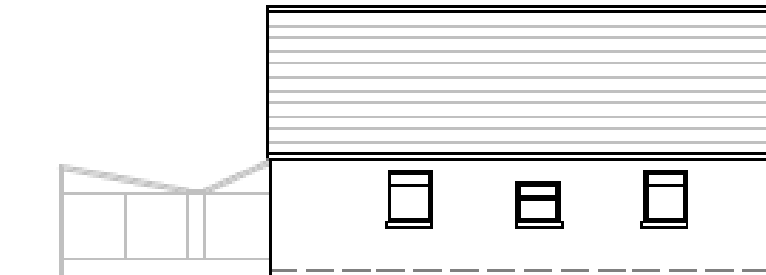
# S/39644



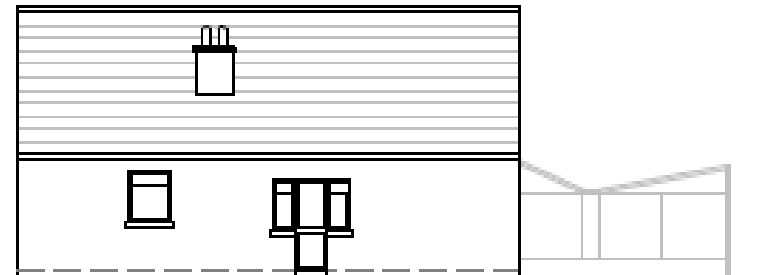
FRONT ELEVATION



REAR ELEVATION

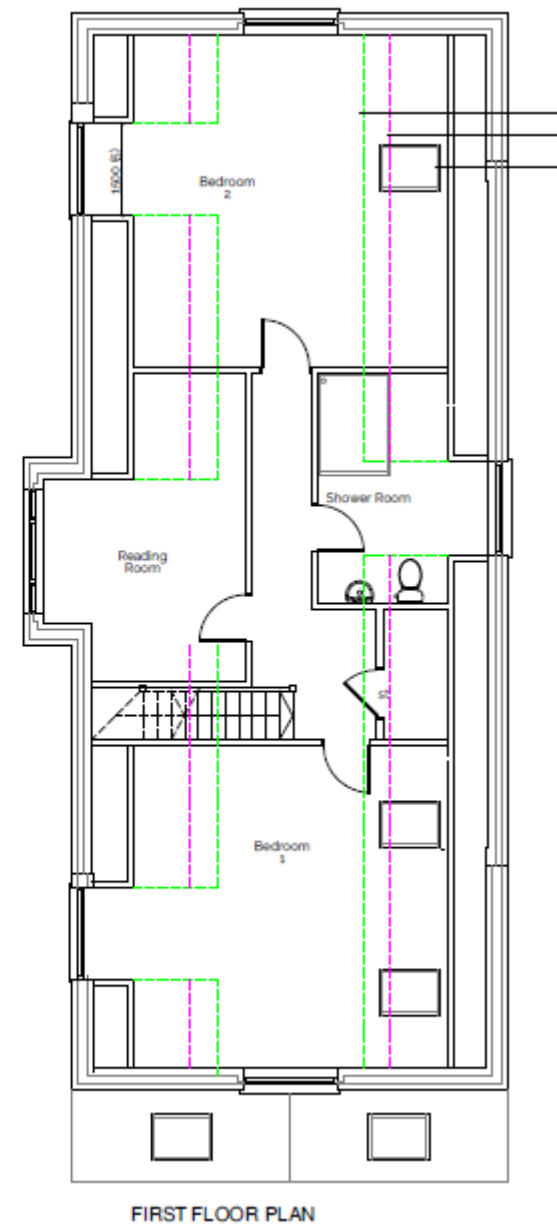
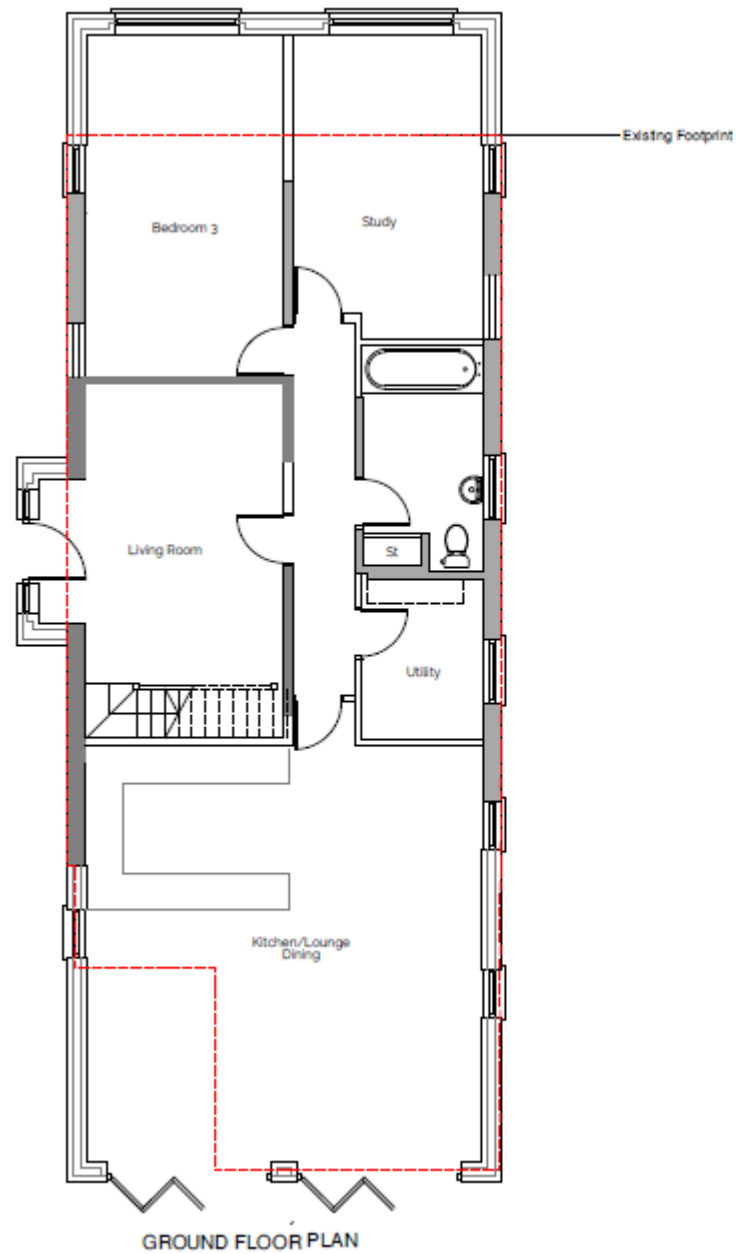


SIDE ELEVATION

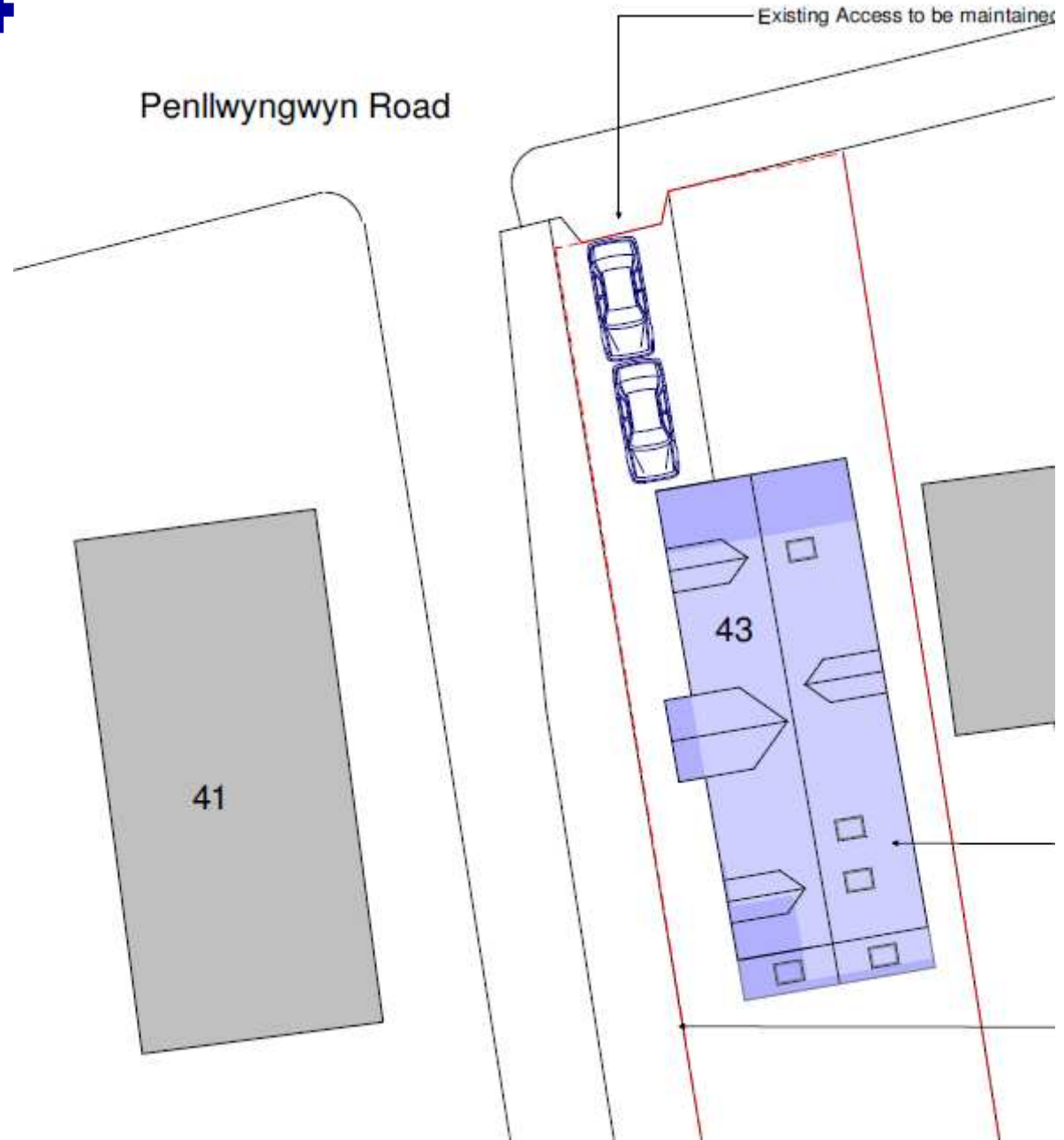


SIDE ELEVATION

# S/39644

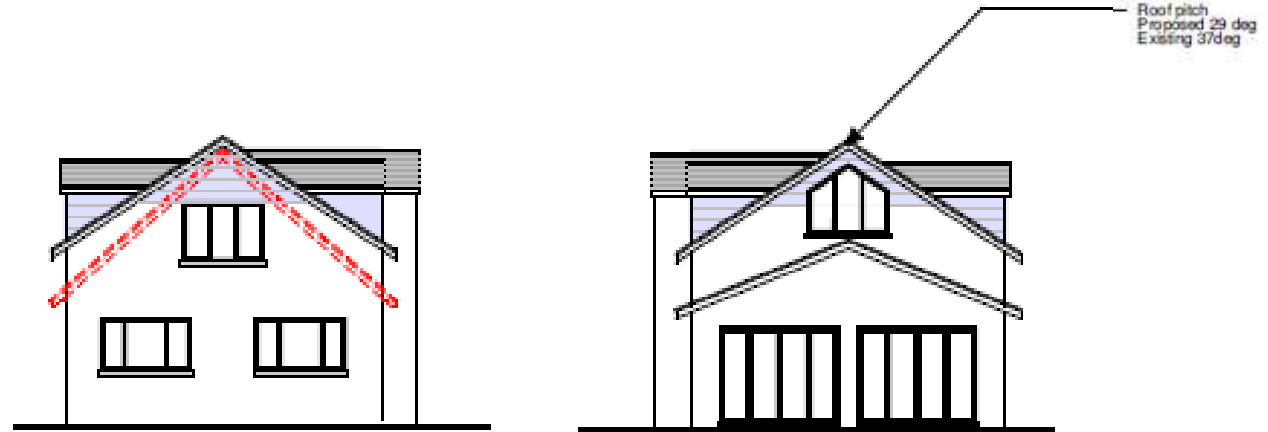


# S/39644



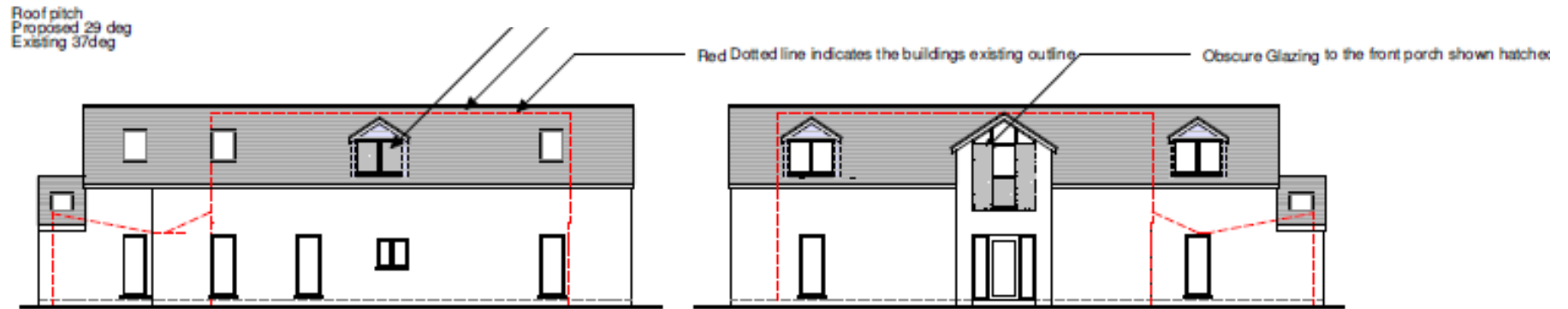
# S/39644

GROUND FLOOR PLAN



FRONT ELEVATION

REAR ELEVATION



SIDE ELEVATION

SIDE ELEVATION

Tudalen 96

S/39644





**S/39644**



Tudalen 97

Tudalen 98

S/39644



**S/39644**



Tudalen 100

S/39644



**S/39644**



Tudalen 101

Tudalen 102

**S/39644**



**S/39644**



Tudalen 103

Tudalen 104

S/39644





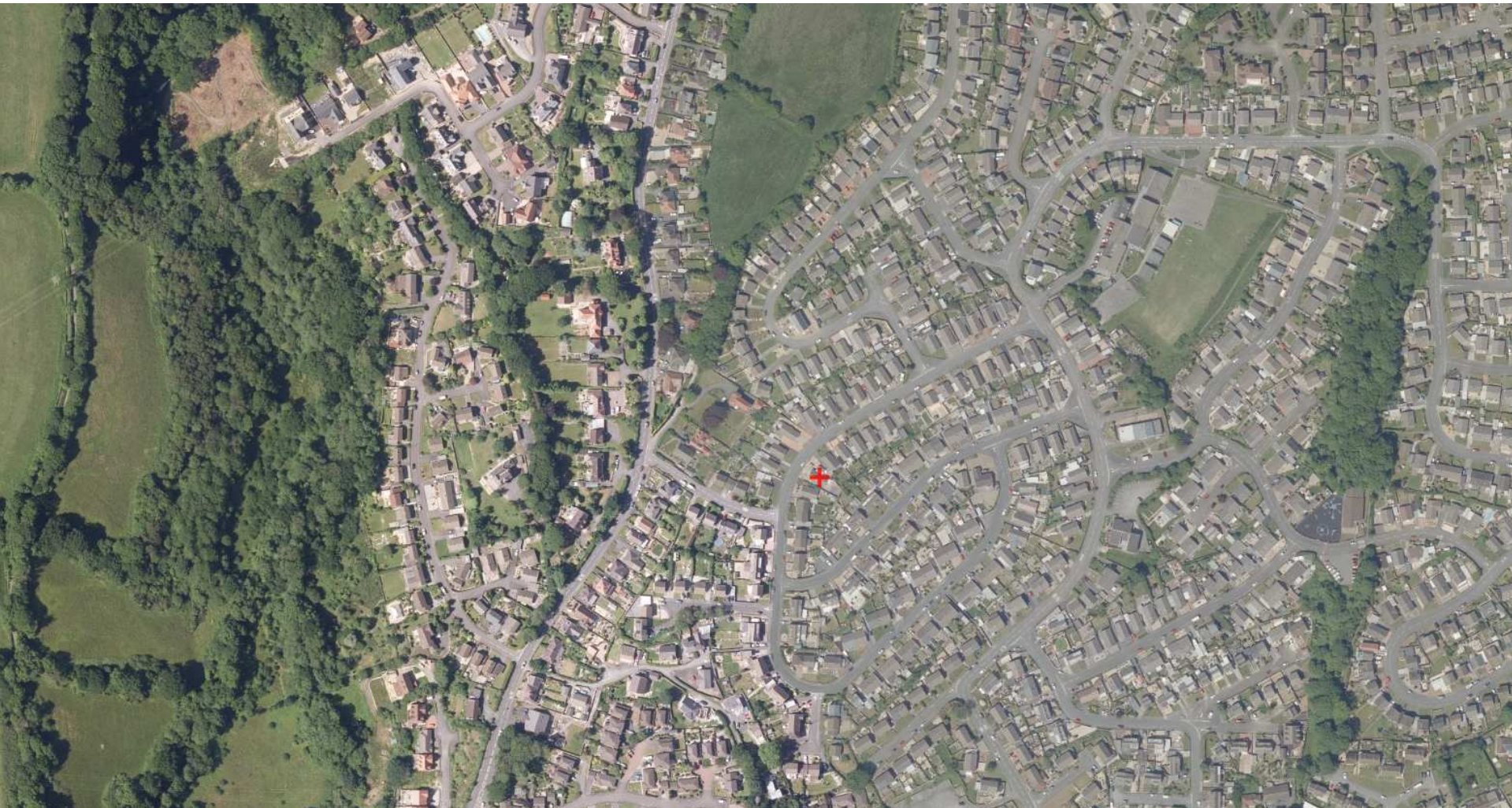
Y Pwyllgor  
Cynllunio

Planning  
Committee

S/39750

Tudalen 106

# S/39750



# S/39750



Tudalen 108

# S/39750

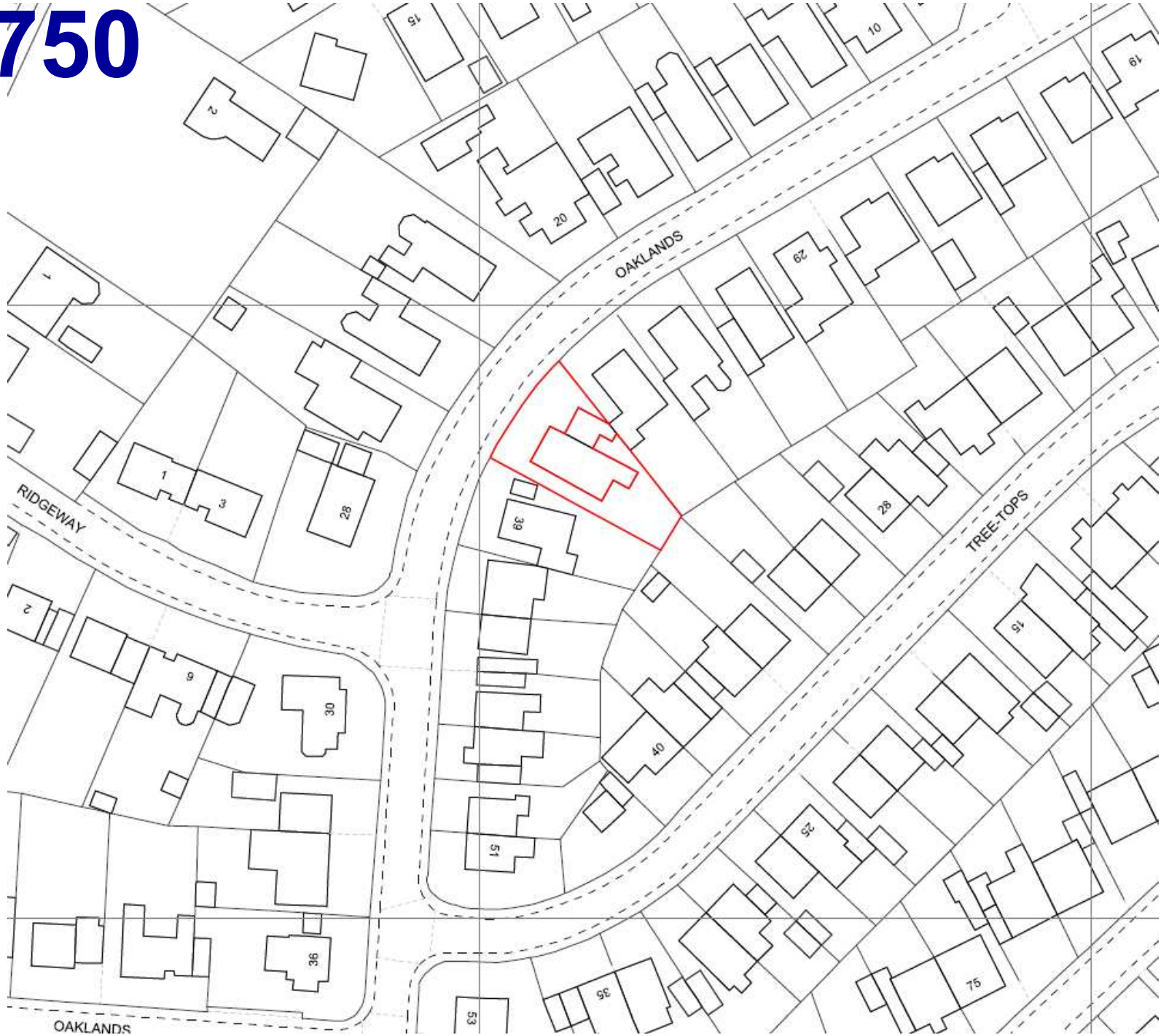


# S/39750

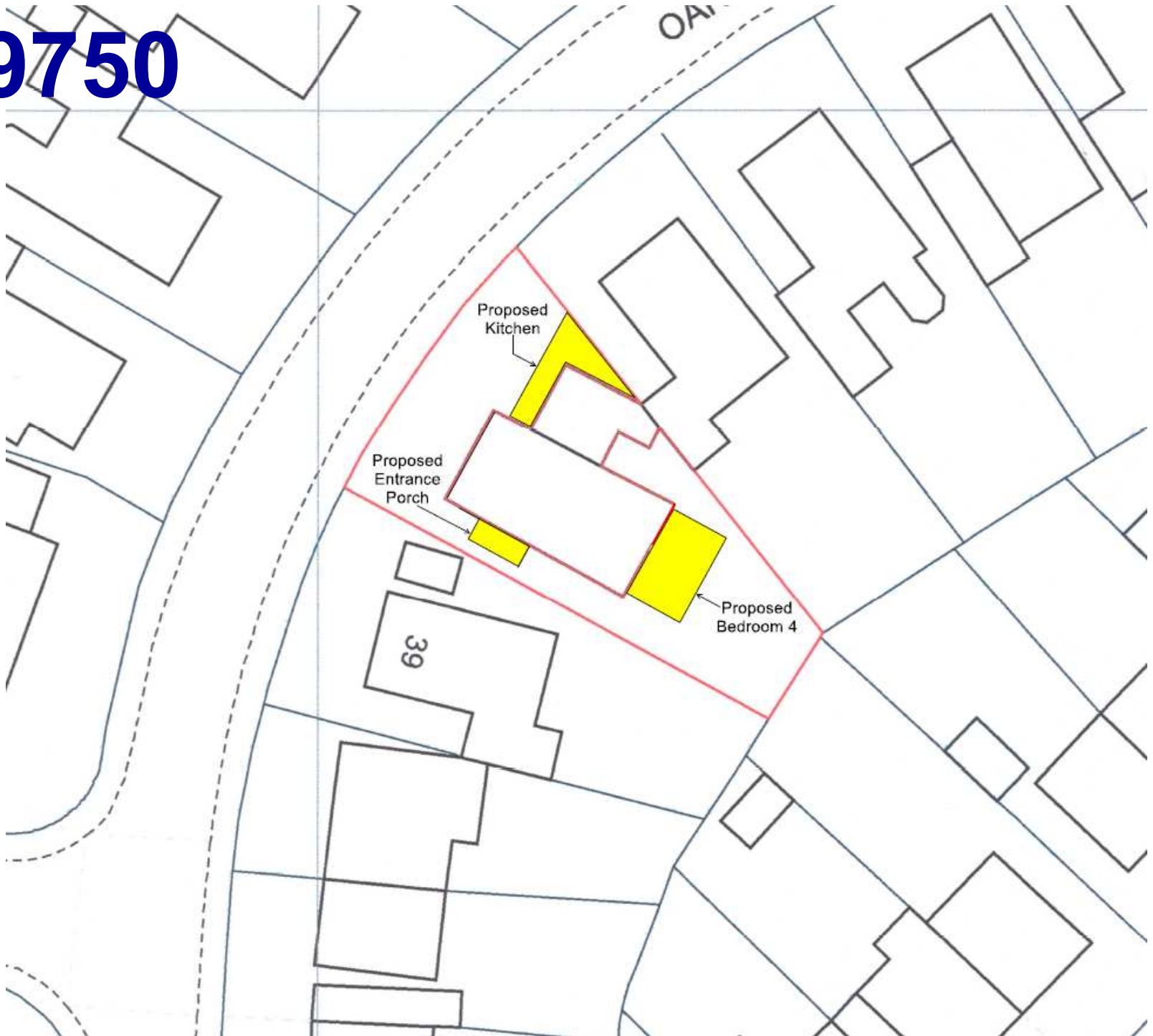


Tudalen 110

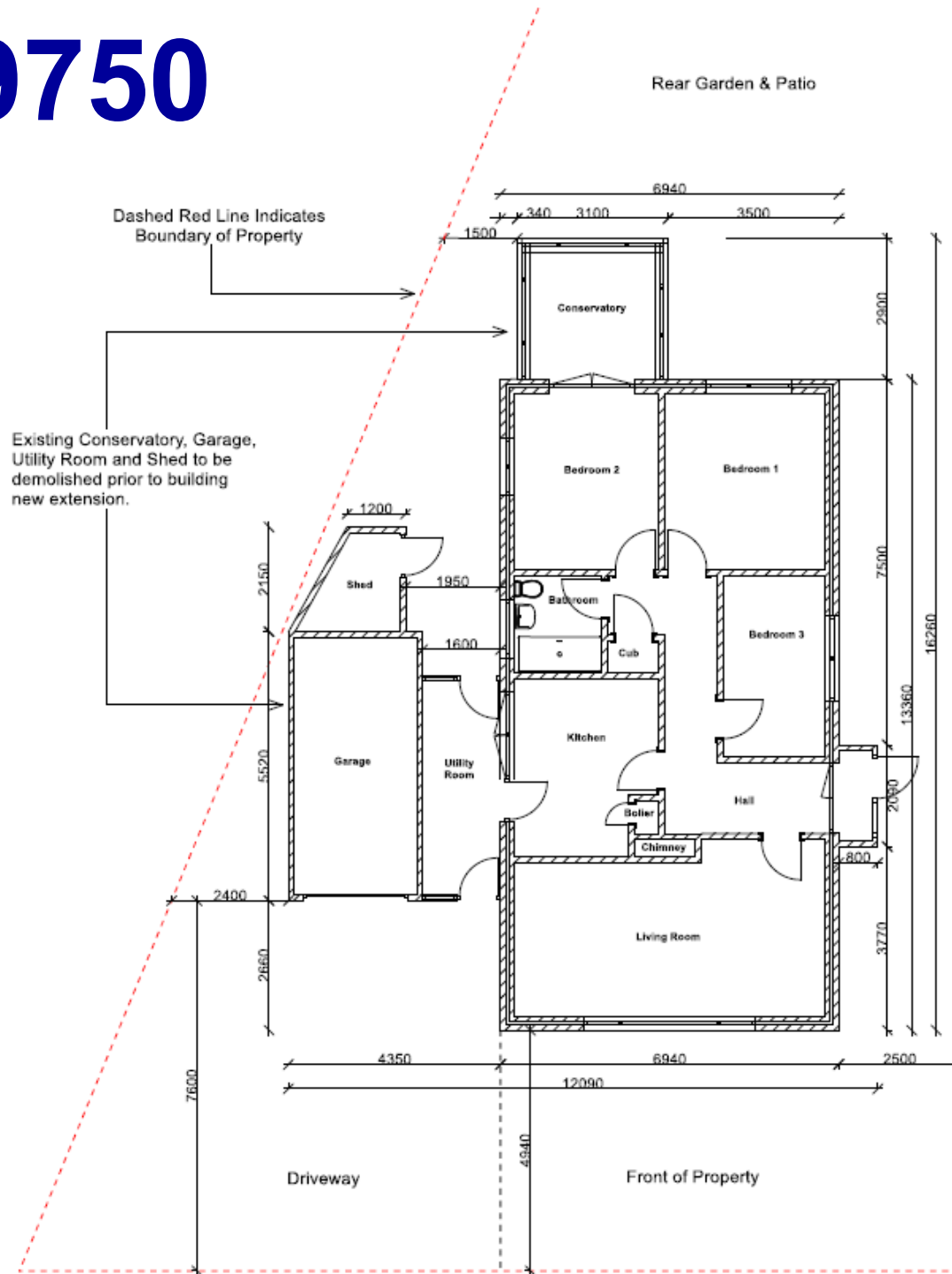
# S/39750



**S/39750**



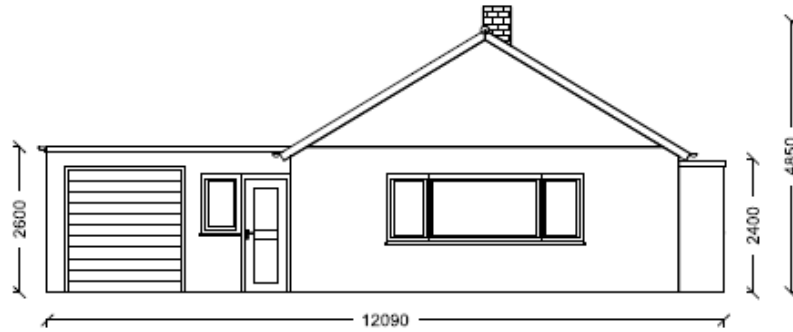
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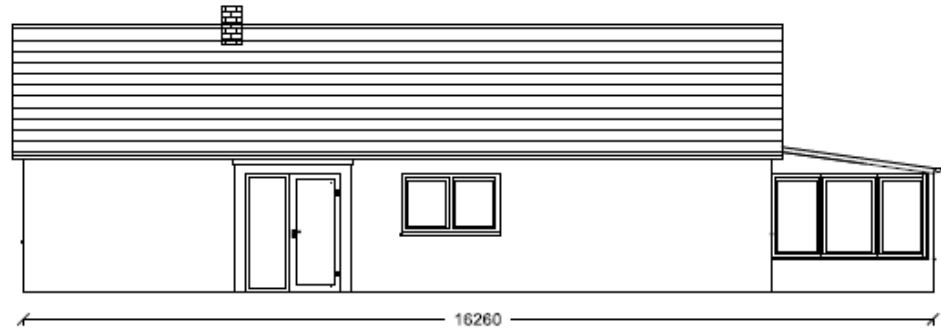
Existing Floor Plan  
1:100 @ A3



# S/39750



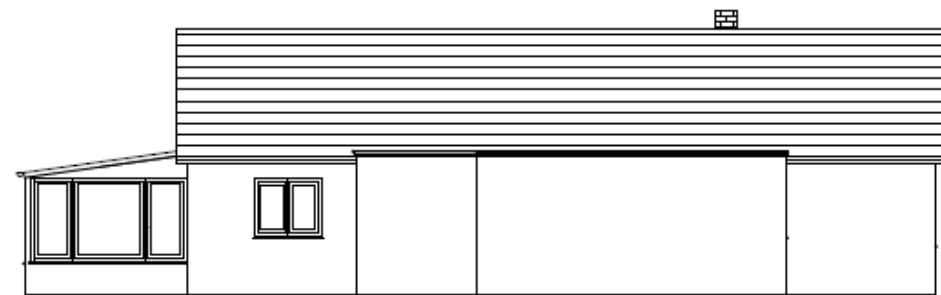
Existing Front Elevation 1:100



Existing Side Elevation Right 1:100

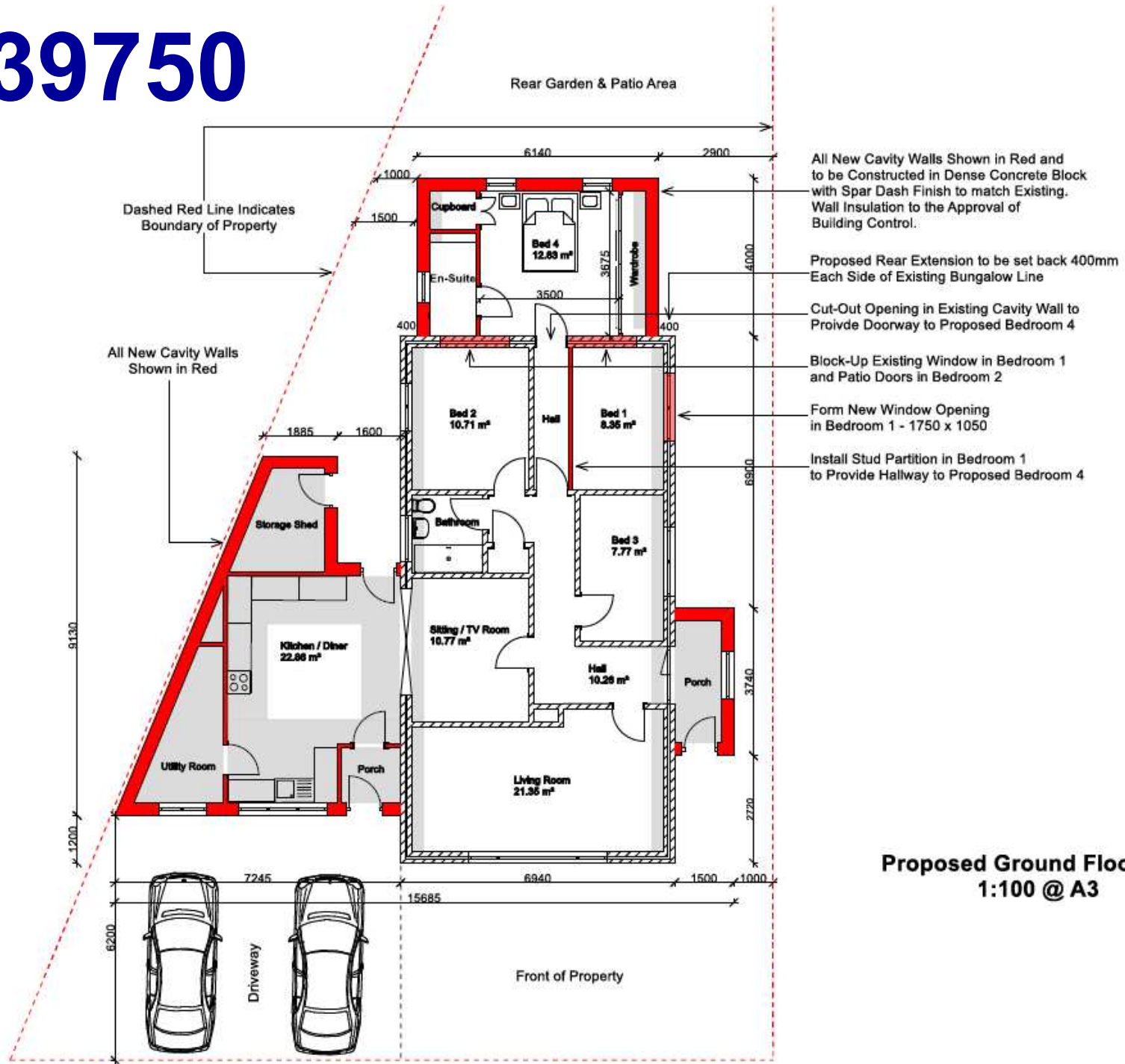


Existing Rear Elevation 1:100



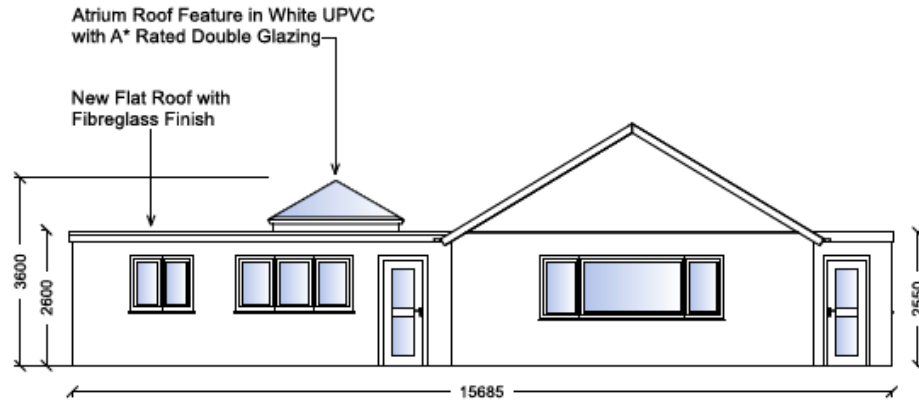
Existing Side Elevation Left 1:100

# S/39750

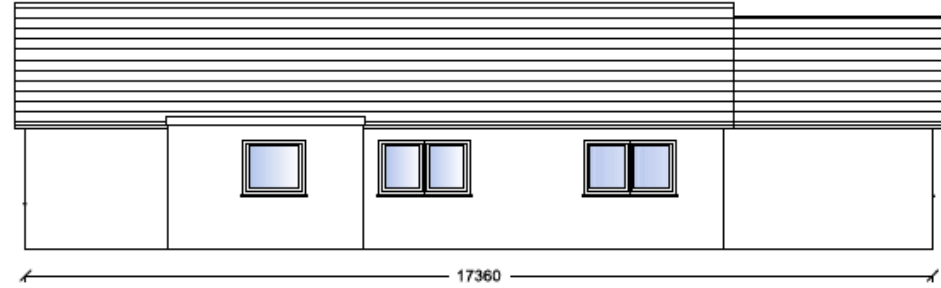


**Proposed Ground Floor Plan  
1:100 @ A3**

# S/39750



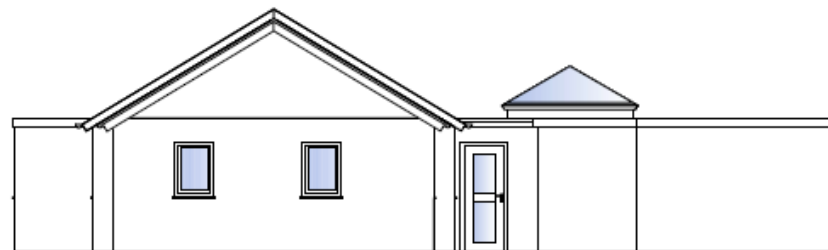
**Proposed Front Elevation 1:100**



**Proposed Right Side Elevation 1:100**

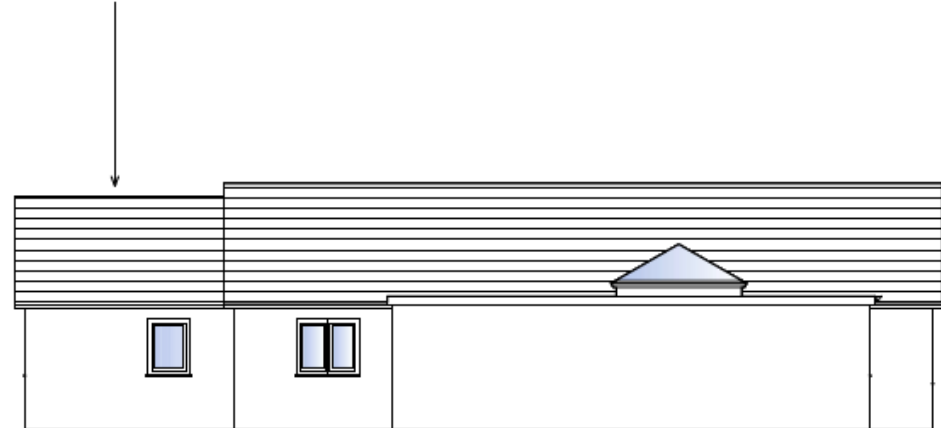
All New Cavity Walls to be Constructed in Dense Concrete Block with Spar Dash Finish to Match Existing

New Windows and Doors in White UPVC Double Glazed to Match Existing



**Proposed Rear Elevation 1:100**

Proposed Pitched Roof to be Formed using Proprietary Manufactured Trusses. Roof to be Finished with Marley Modern or Similar Roof Tiles



**Proposed Left Side Elevation 1:100**

Tudalen 116

**S/39750**



**S/39750**



Tudalen 117

Tudalen 118

**S/39750**



**S/39750**



Tudalen 119

Tudalen 120

**S/39750**





S/39750



Tudalen 121

Tudalen 122

**S/39750**



**S/39750**



Tudalen 123

Tudalen 124

**S/39750**



Y Pwyllgor  
Cynllunio

Planning  
Committee

**14.01.2020**

**RHANBARTH  
Y GORLLEWIN**

**AREA  
WEST**

# Y Pwyllgor Cynllunio

# Planning Committee

**CEISIADAU YR  
ARGYMHELLIR EU  
BOD YN CAEL EU  
CYMERADWYO**

**APPLICATIONS  
RECOMMENDED  
FOR APPROVAL**



**EICH CYNGOR arleinamdani**  
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Cynllunio

Planning  
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W/37398

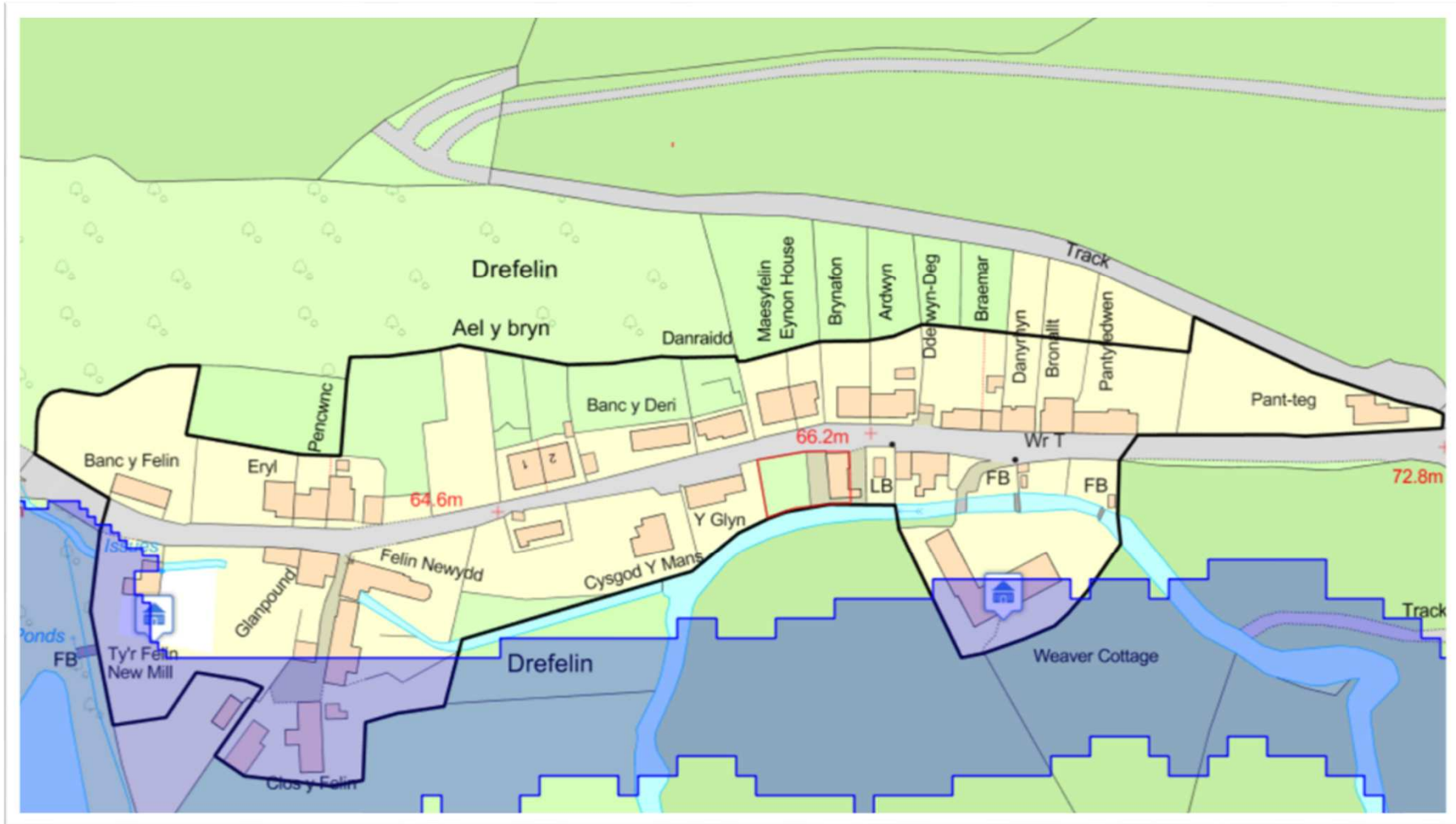
Tudalen 128

# W/37398 Site Location





# W/37398 Location Plan



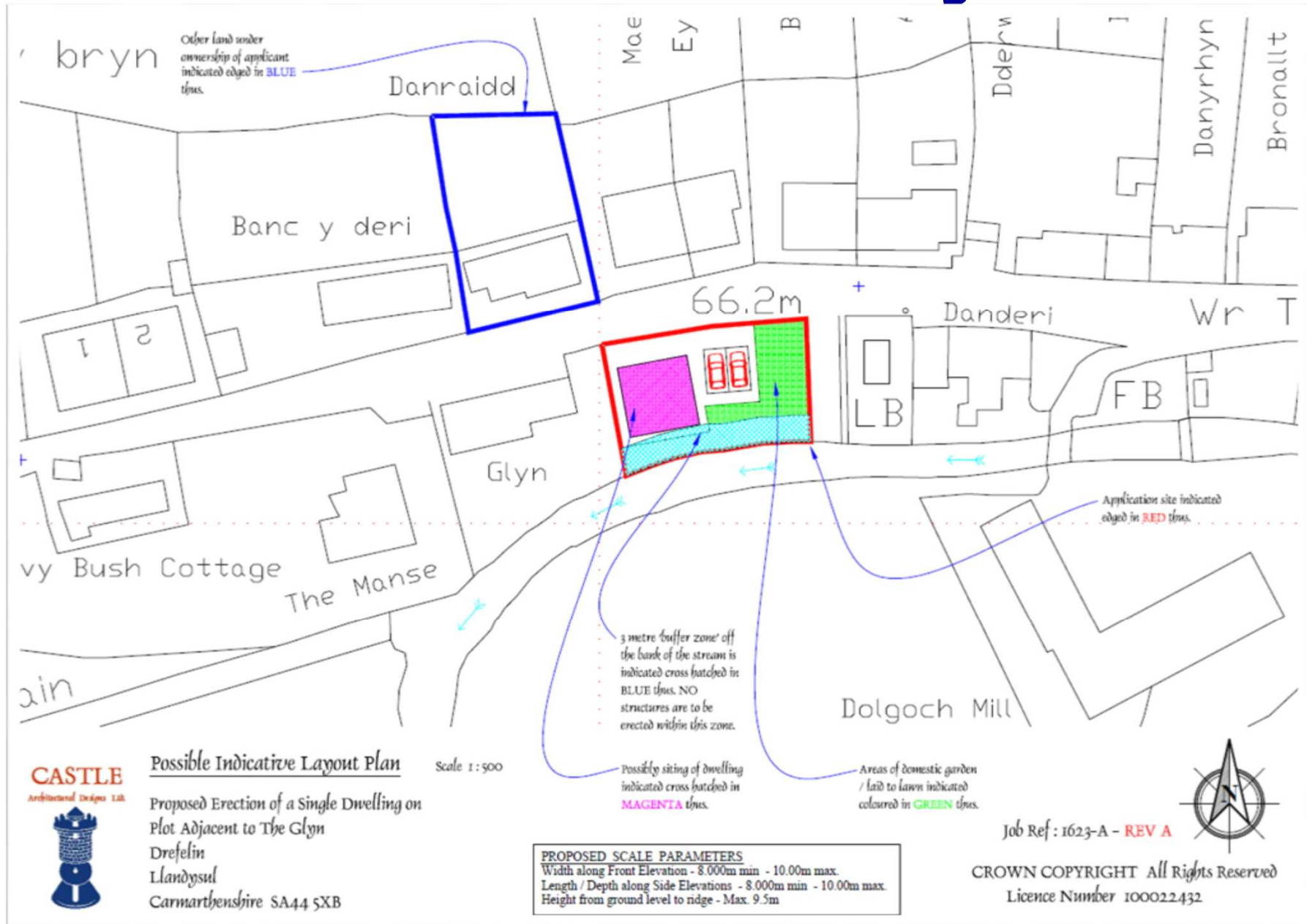
# W/37398 Aerial Photograph



# W/37398 Application Plan



# W/37398 Indicative Layout



# W/37398



Tudalen 133

13.5.2019

Tudalen 134

# W/37398



# W/37398



Tudalen 135

13.5.2019

Tudalen 136

# W/37398



13.5.2019



# W/37398



Tudalen 137

Tudalen 138

# W/37398



# W/37398



Google Streetview Image

Tudalen 140

# W/37398



Google Streetview Image

Y Pwyllgor  
Cynllunio

Planning  
Committee

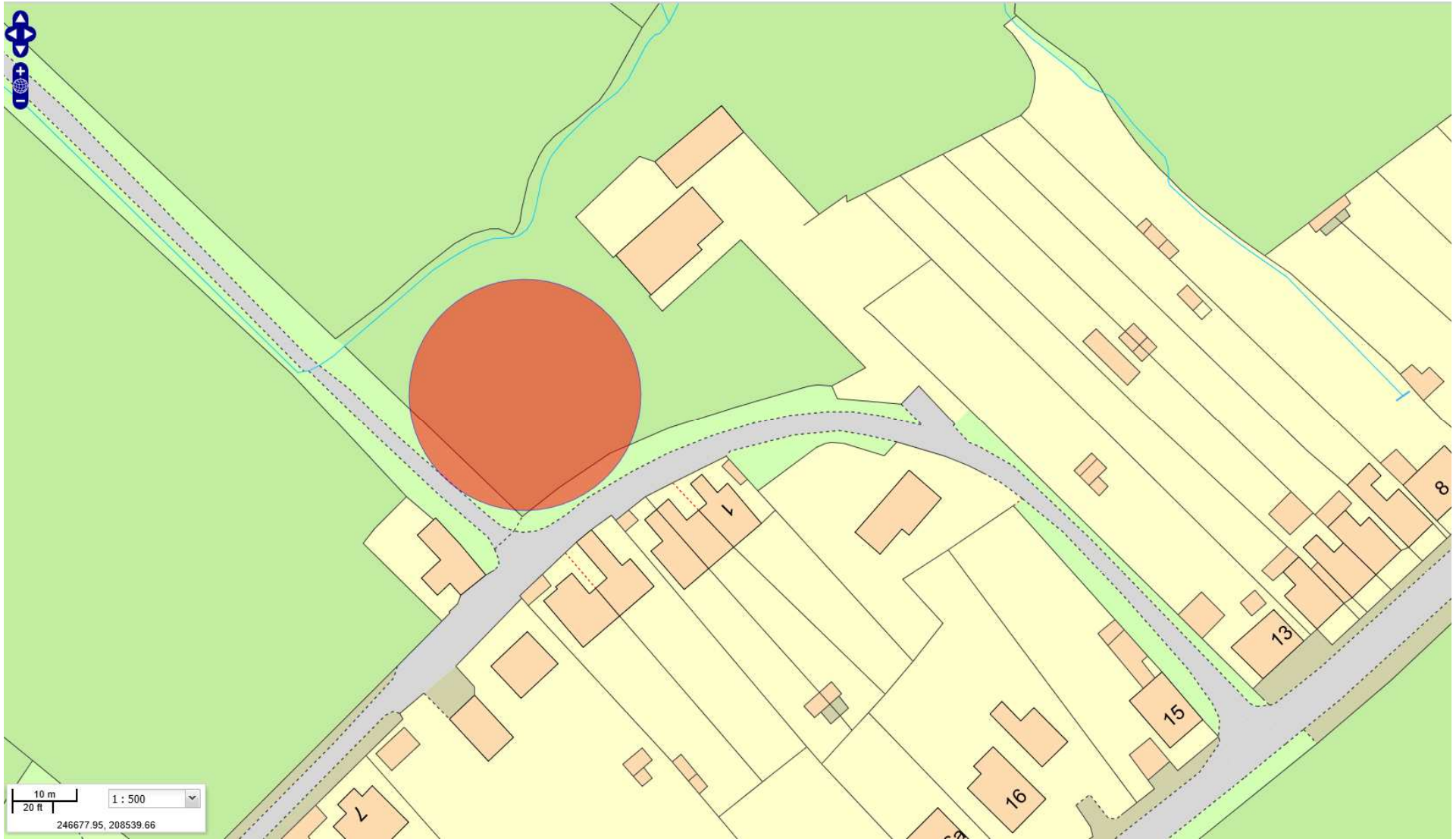
W/39414



# W/39414



# W/39414





# W/39414

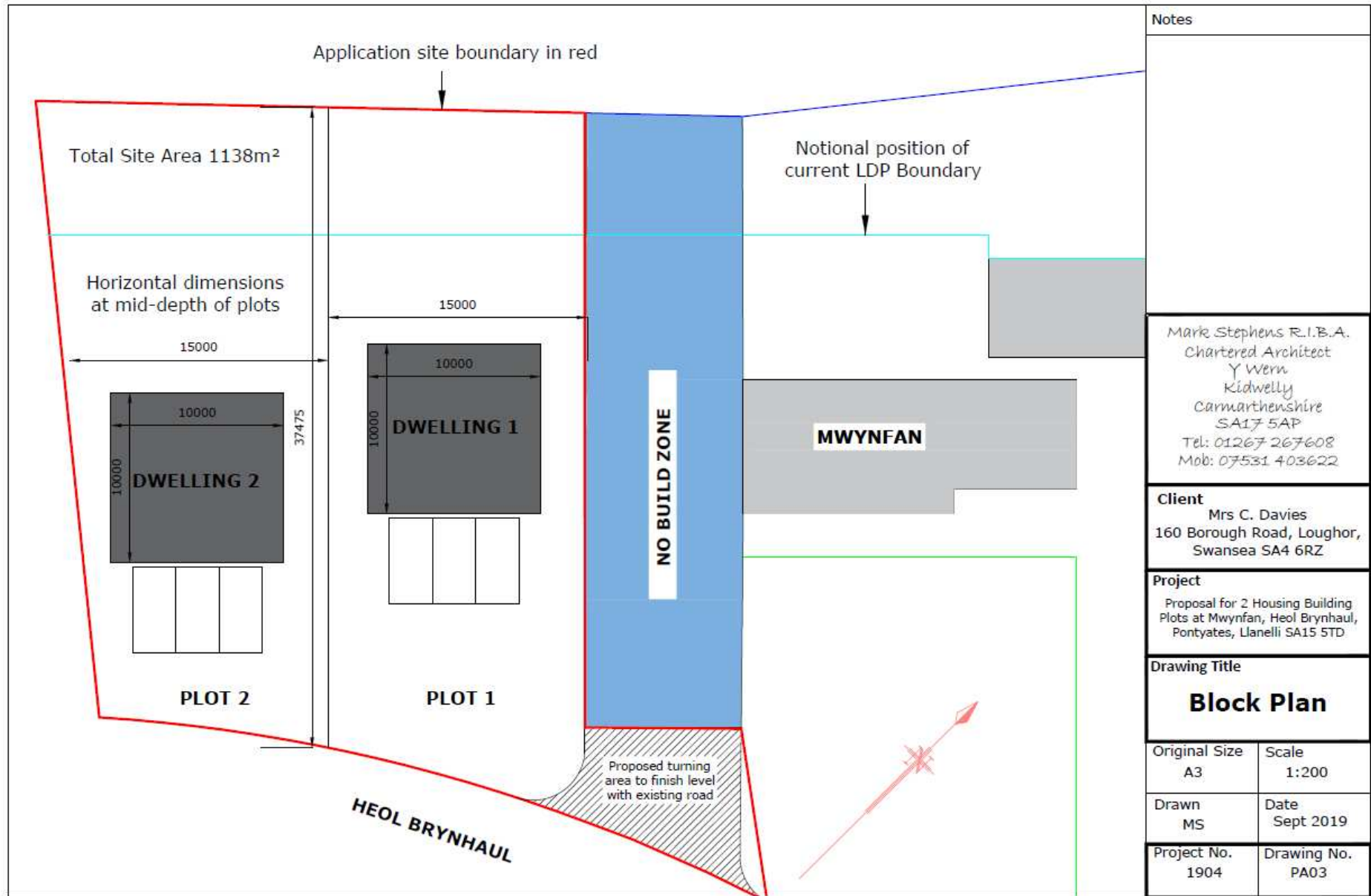


Tudalen 145

# W/39414



# W/39414



Notes	
<p>Mark Stephens R.I.B.A. Chartered Architect Y Wern Kidwelly Carmarthenshire SA17 5AP Tel: 01267 267608 Mob: 07531 403622</p>	
<p><b>Client</b> Mrs C. Davies 160 Borough Road, Loughor, Swansea SA4 6RZ</p>	
<p><b>Project</b> Proposal for 2 Housing Building Plots at Mwynfan, Heol Brynhaul, Pontyates, Llanelli SA15 5TD</p>	
<p><b>Drawing Title</b> <b>Block Plan</b></p>	
Original Size A3	Scale 1:200
Drawn MS	Date Sept 2019
Project No. 1904	Drawing No. PA03

Tudalen 148

**W/39414**



**W/39414**



Tudalen 149

Tudalen 150

**W/39414**



**W/39414**



Tudalen 151

Tudalen 152

**W/39414**





**W/39414**



Tudalen 153

Tudalen 154

**W/39414**



**W/39414**



Tudalen 155

Tudalen 156

**W/39414**



**W/39414**



Tudalen 157

Tudalen 158

**W/39414**



**W/39414**



Tudalen 160

**W/39414**





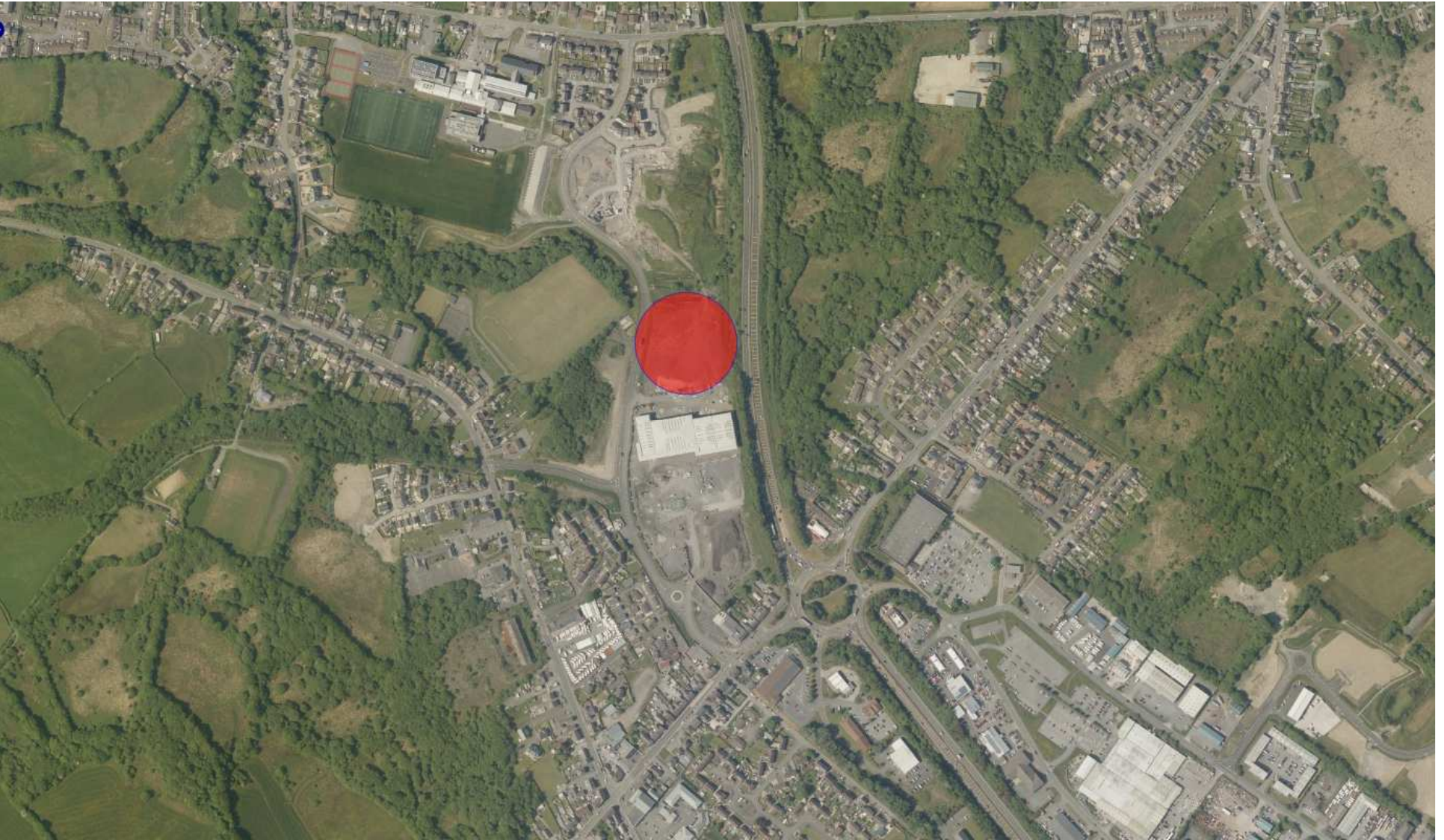
Y Pwyllgor  
Cynllunio

Planning  
Committee

W/39441



# W/39441



Tudalen 163

# W/39441



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## 1. LOCATION PLAN

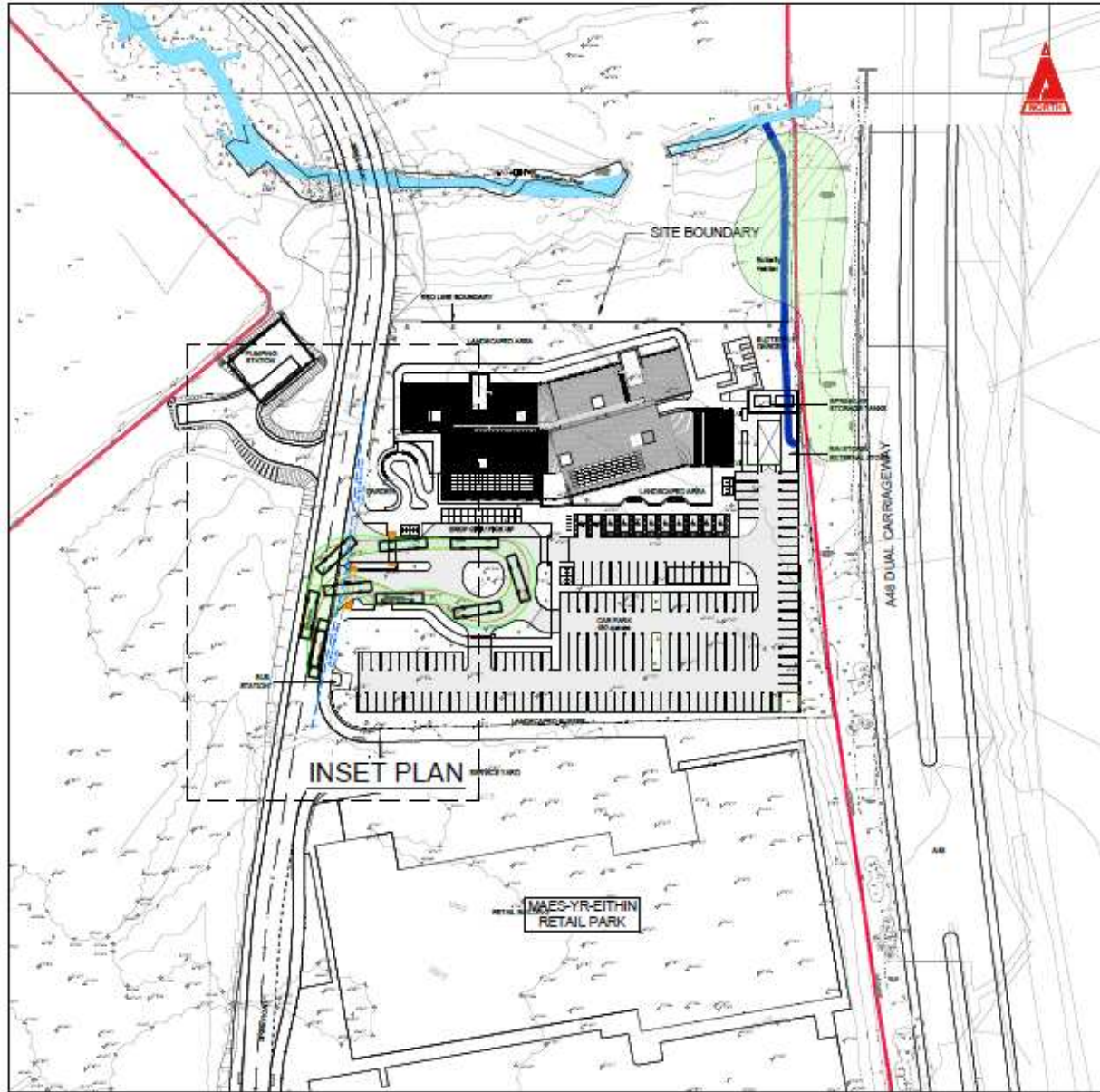
# W/39441

SCALE 1:500  
0 10 20 30  
N

Use	Use Class	Allocated %
Health	D1	90.55%
Library	D1	3.98%
Cafe	A3	0.49%
Pharmacy	A1	3.42%
Community Police Office	A2	1.57%



# W/39441



**SITE PLAN**  
SCALE 1:1000

# W/39441



1. SITE PLAN - PROPOSED

# W/39441

Height Parameter = 17.5m

(Note: Height of parameter from Ground Floor Level +152.00 TBC following receipt of update Topographical Survey)



1. SOUTH ELEVATION

Height Parameter = 17.5m

(Note: Height of parameter from Ground Floor Level +152.00 TBC following receipt of update Topographical Survey)



2. WEST ELEVATION

Height Parameter = 17.5m

(Note: Height of parameter from Ground Floor Level +152.00 TBC following receipt of update Topographical Survey)



3. NORTH ELEVATION

Height Parameter = 17.5m

(Note: Height of parameter from Ground Floor Level +152.00 TBC following receipt of update Topographical Survey)



4. EAST ELEVATION

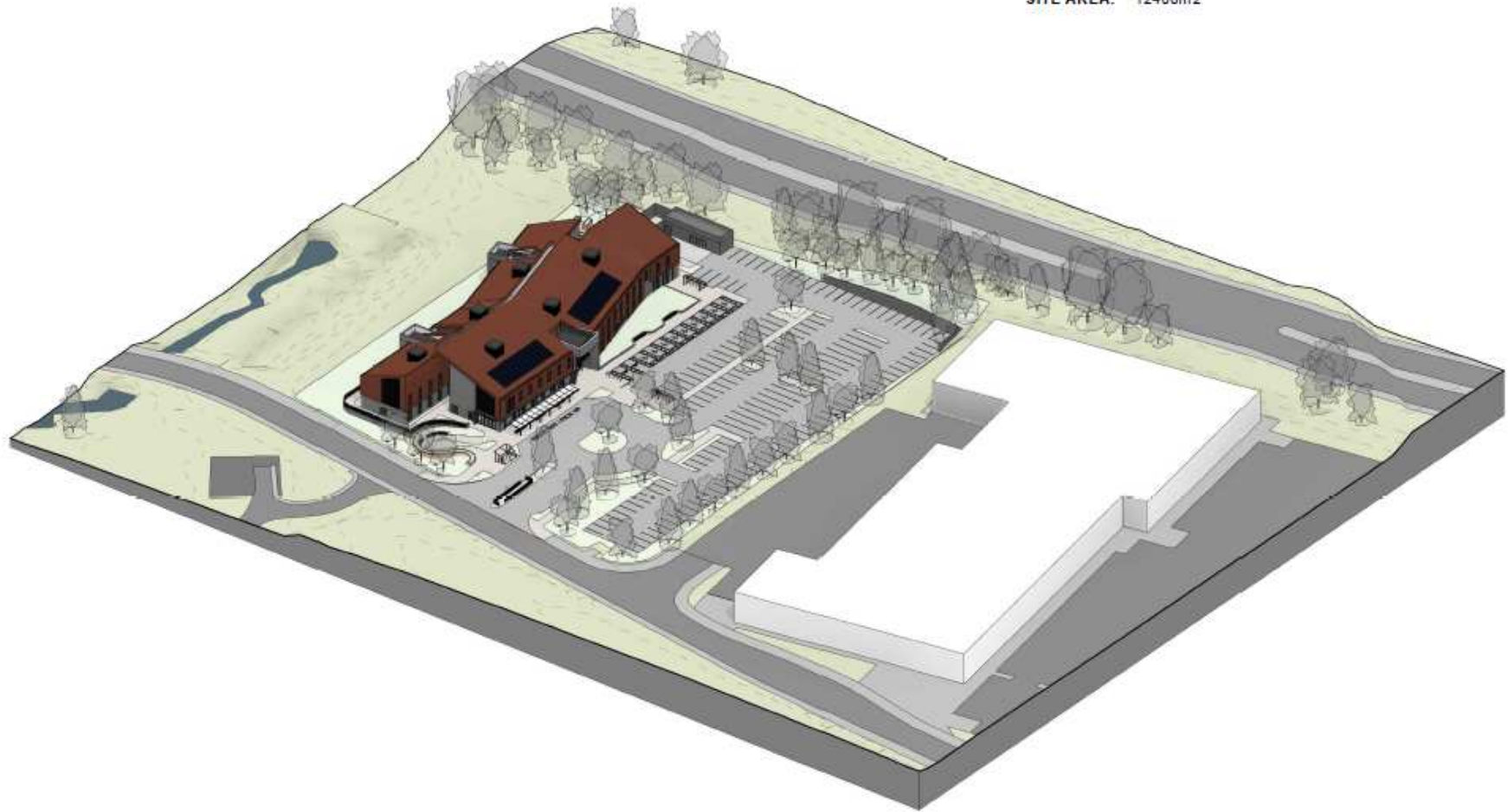


# W/39441

SCALE 1 : 500  
0 10 20 30



SITE AREA: 12400m<sup>2</sup>



2. PROPOSED SITE AERIAL VIEW

Tudalen 170

# W/39441



# W/39441



Tudalen 171

Tudalen 172

# W/39441



# W/39441



Tudalen 173

Tudalen 174

# W/39441



# W/39441



Tudalen 175

Tudalen 176

# W/39441





# W/39441



Tudalen 177

Tudalen 178

# W/39441



# W/39441



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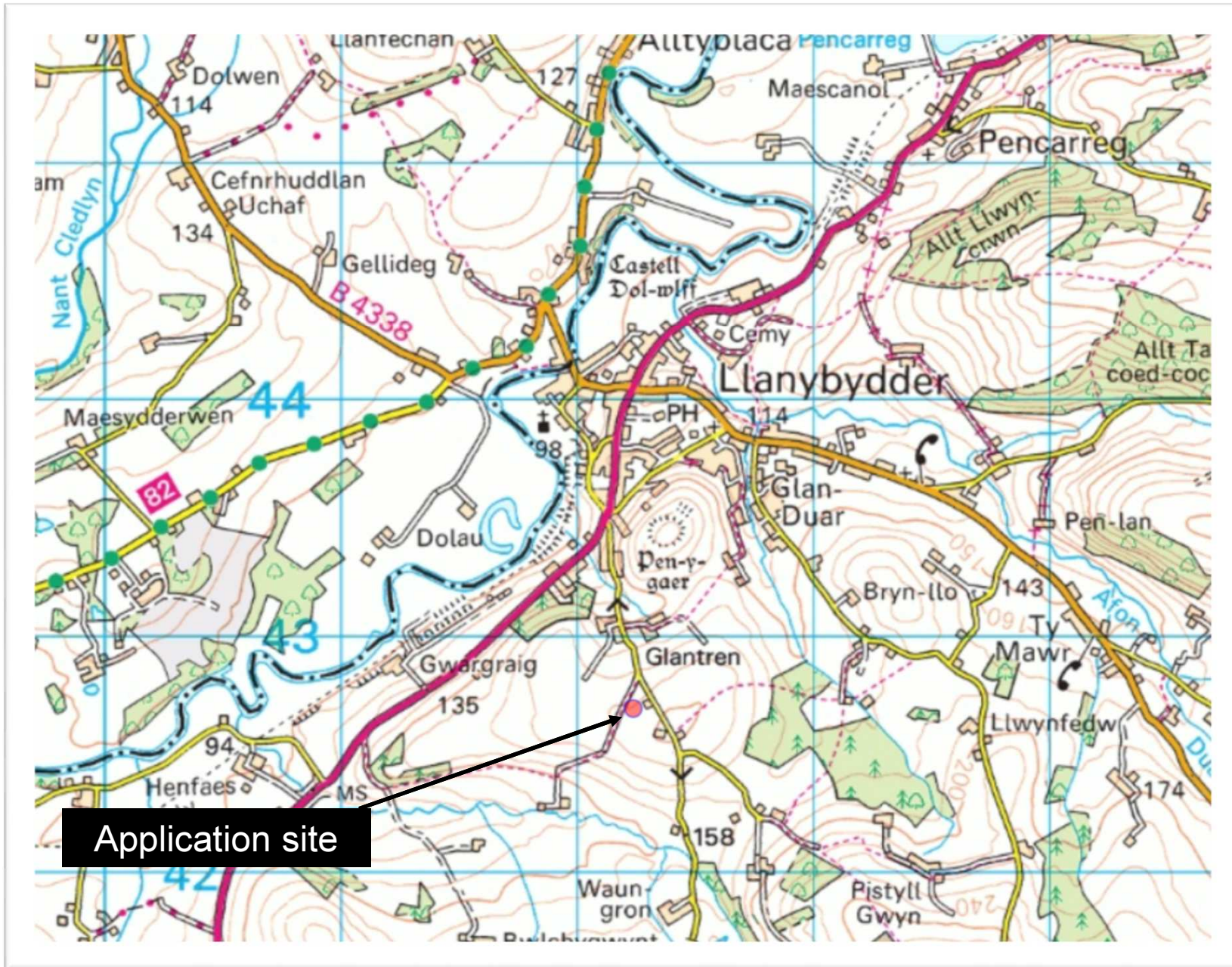
W/39590



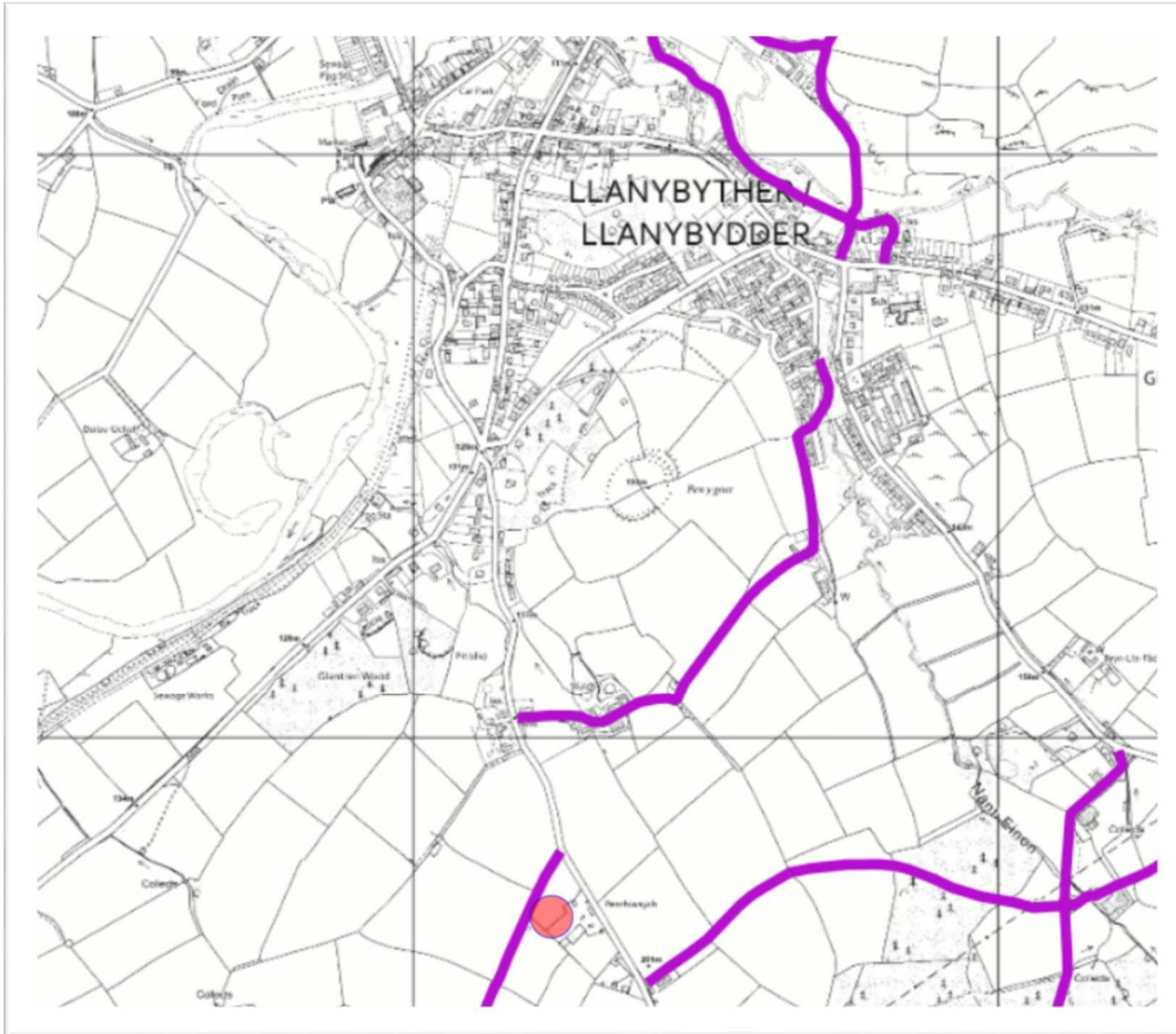
**EICH CYNGOR arleinamdani**  
[www.sirgar.llyw.cymru](http://www.sirgar.llyw.cymru)

**YOUR COUNCIL doitonline**  
[www.carmarthenshire.gov.wales](http://www.carmarthenshire.gov.wales)

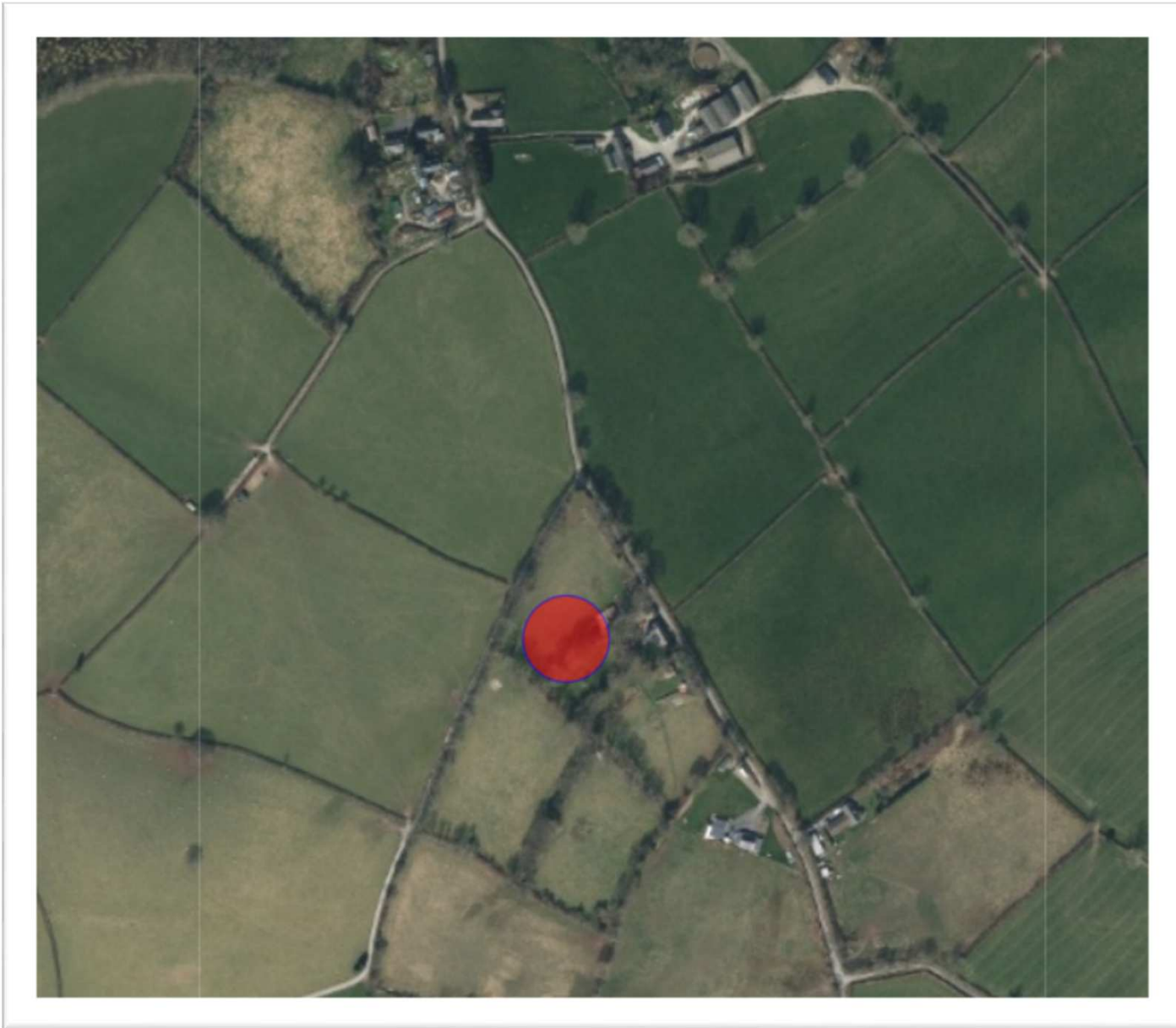
# W/39590 Site Location



# W/39590 Site Location and Footpaths



# W/39590

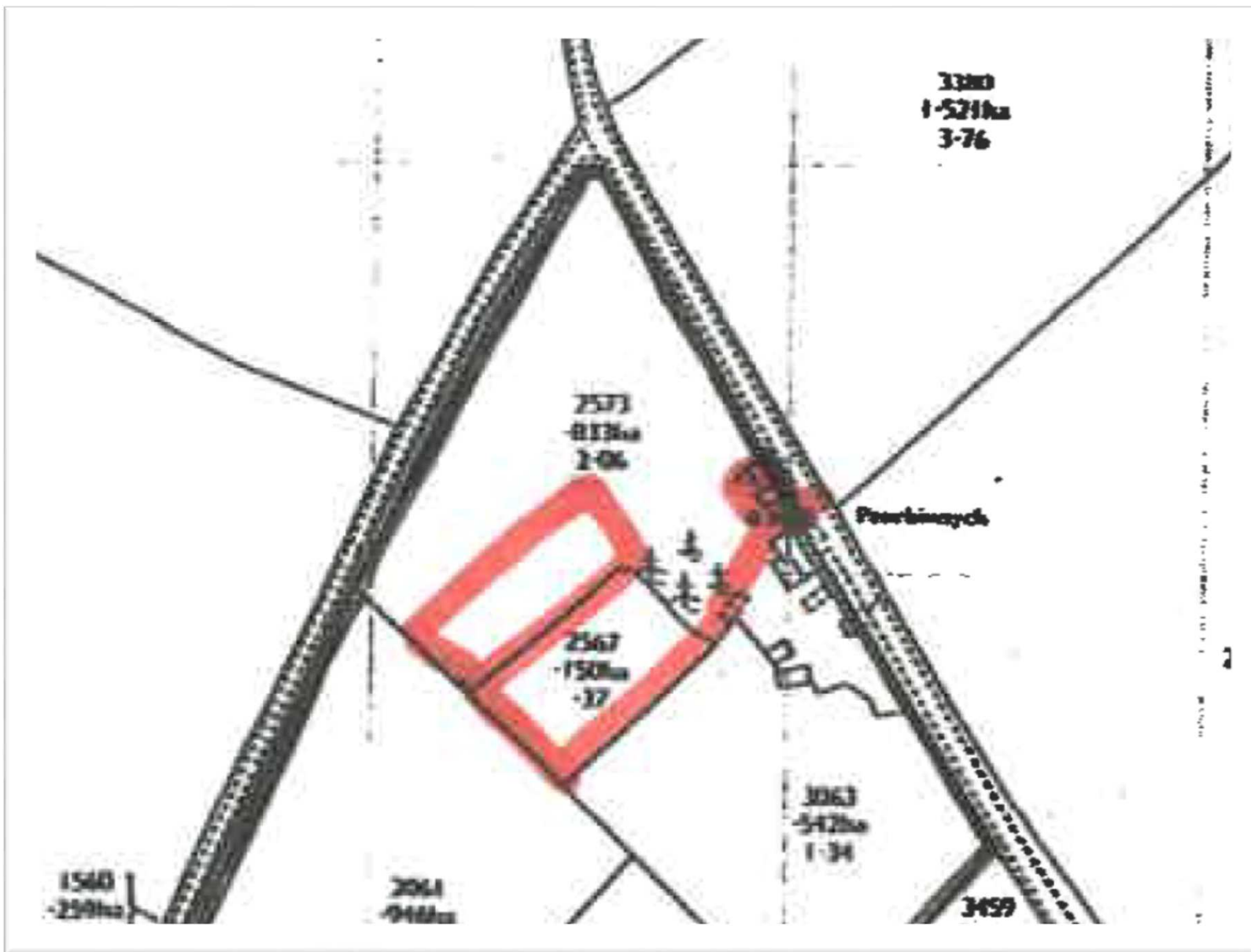


# W/39590





# W/39590 Application Site Plan



Tudalen 186

# W/39590



W/39590



Tudalen 187

Tudalen 188

W/39590



16.10.2019 11:51

W/39590



Tudalen 189

16. 10. 2019 11:51

Tudalen 190

**W/39590**



16.10.2019 11:52

W/39590



16.10.2019 11:52

Tudalen 192

# W/39590



16.10.2019 11:53



W/39590



Tudalen 193

16.10.2019 11:54

**W/39590**



**W/39590**



Tudalen 195

# W/39590



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W/39668

Tudalen 198

# W/39668 Site Location



# W/39590 Location Plan



Tudalen 200

# W/39668





# W/39668



Tudalen 202

# W/39668



30.10.2019 12:14

**W/39668**



**W/39668**



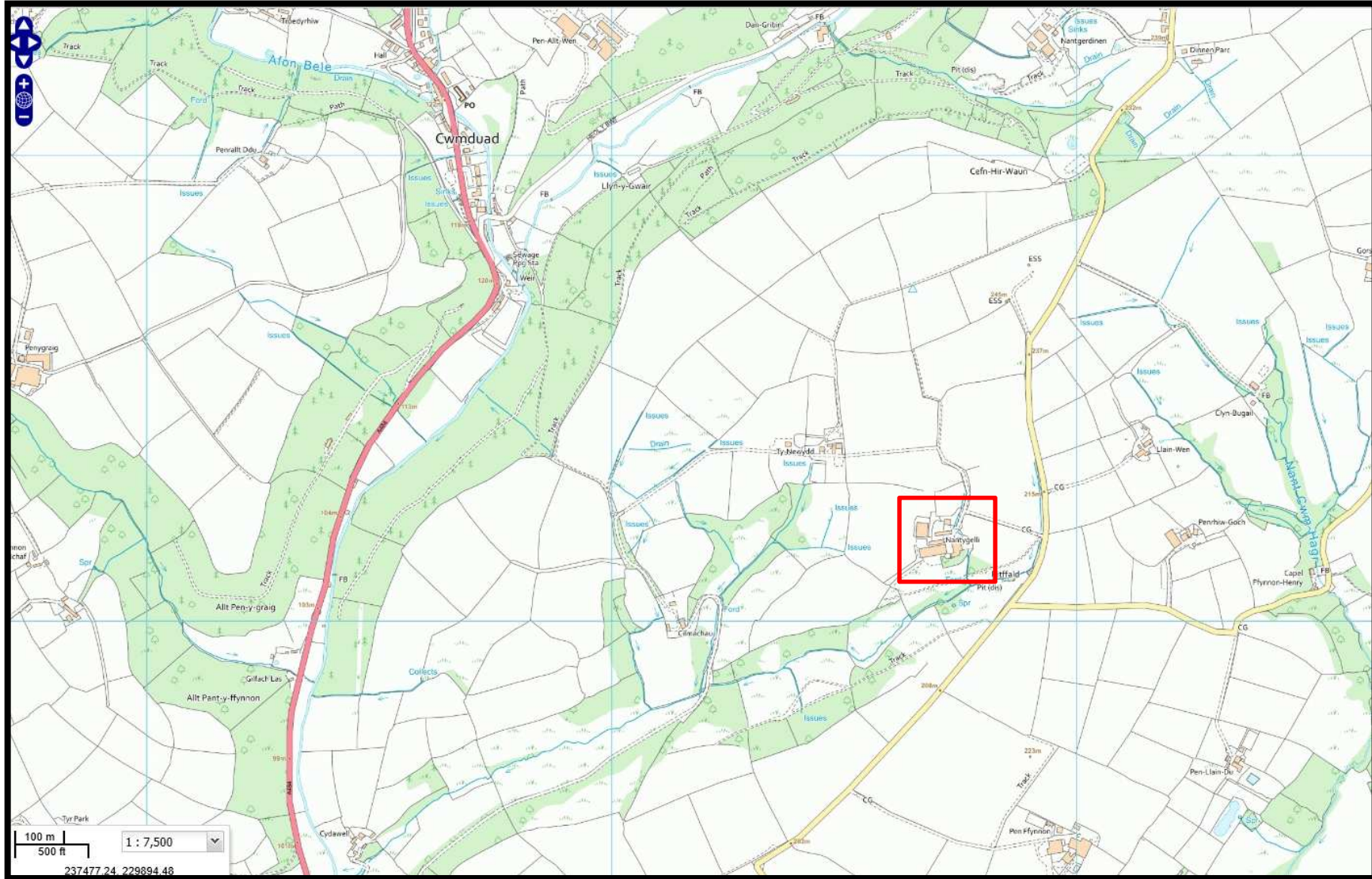
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W/39822

# W/3822 Site Location



# W/39822 Aerial Photograph

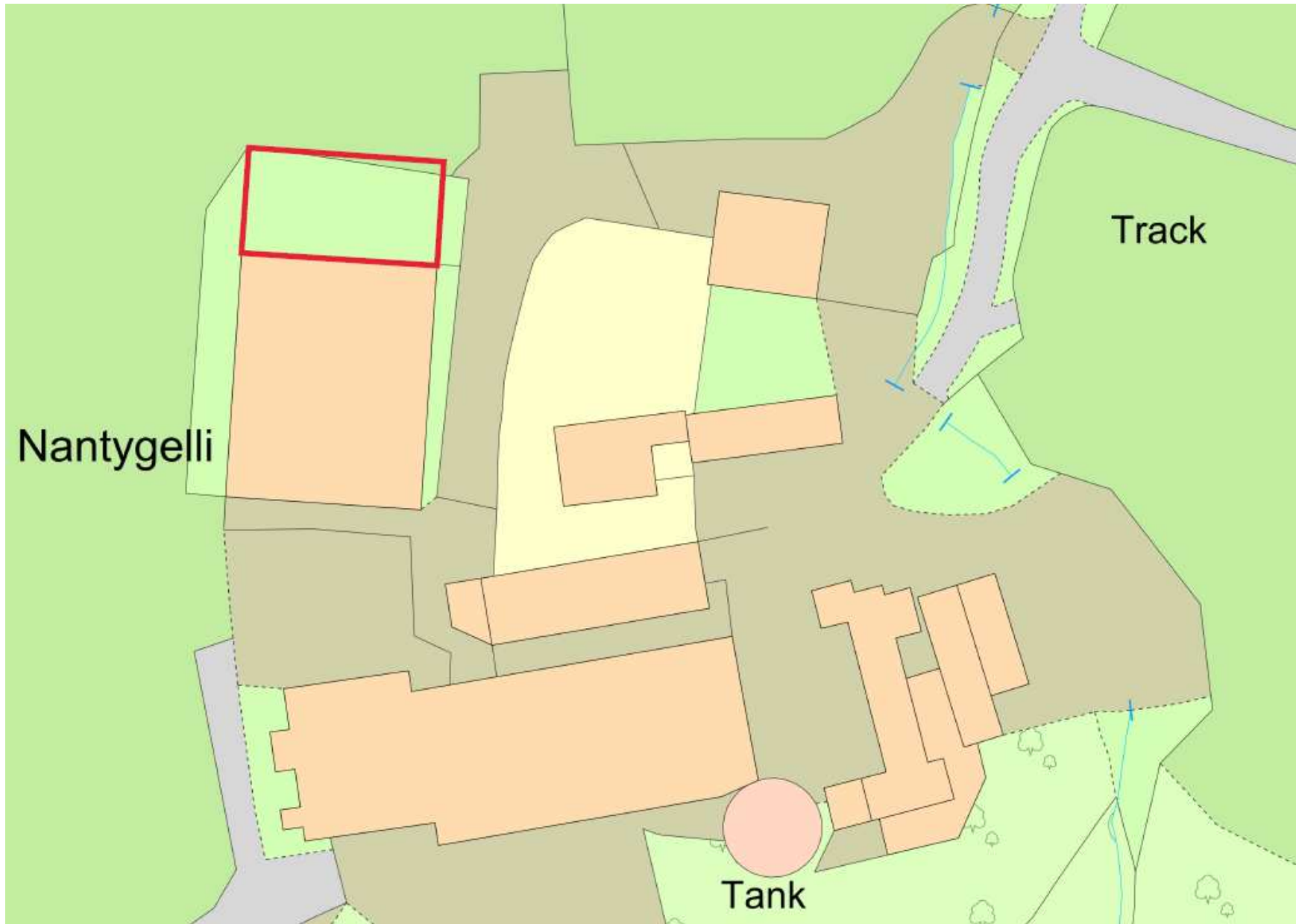


# W/39822





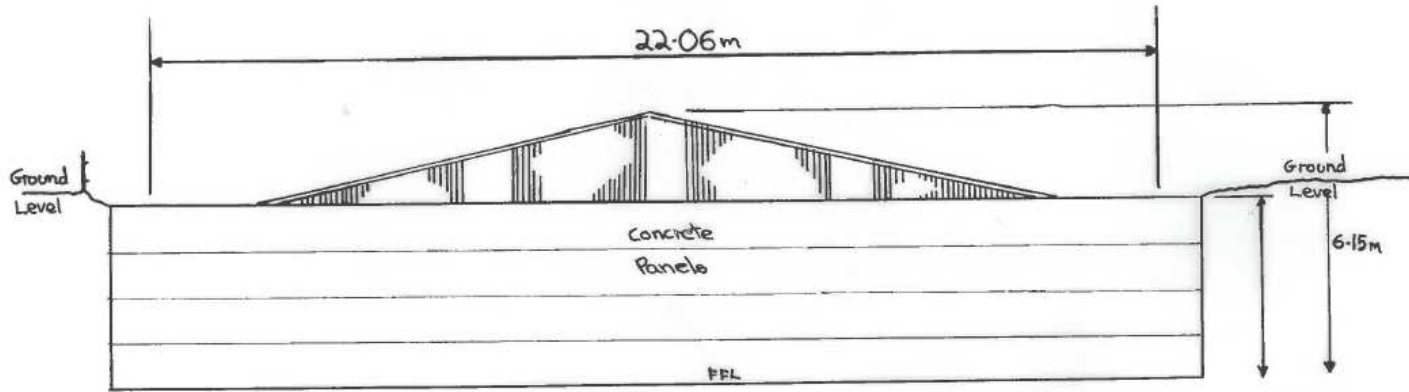
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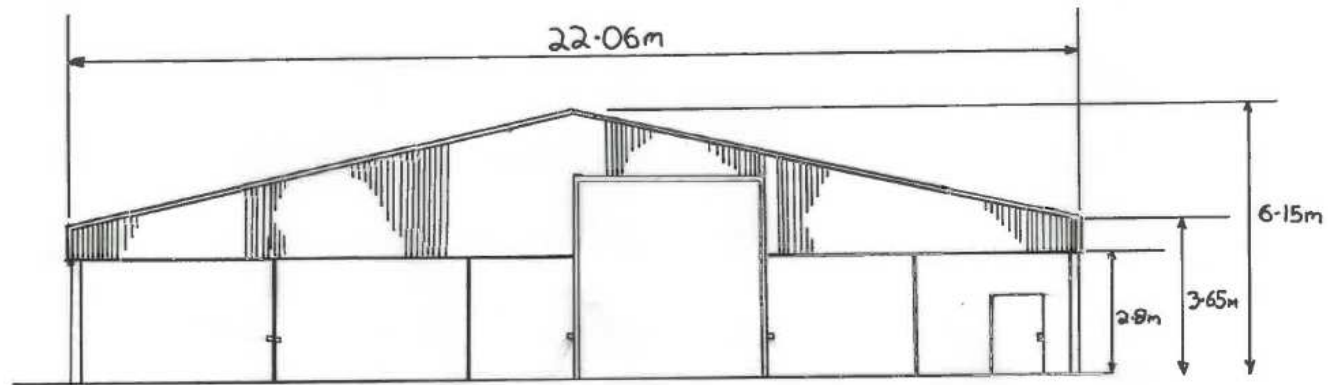
Tudalen 210

# W/39822 Elevations

PROPOSED  
NORTHERN ELEVATION

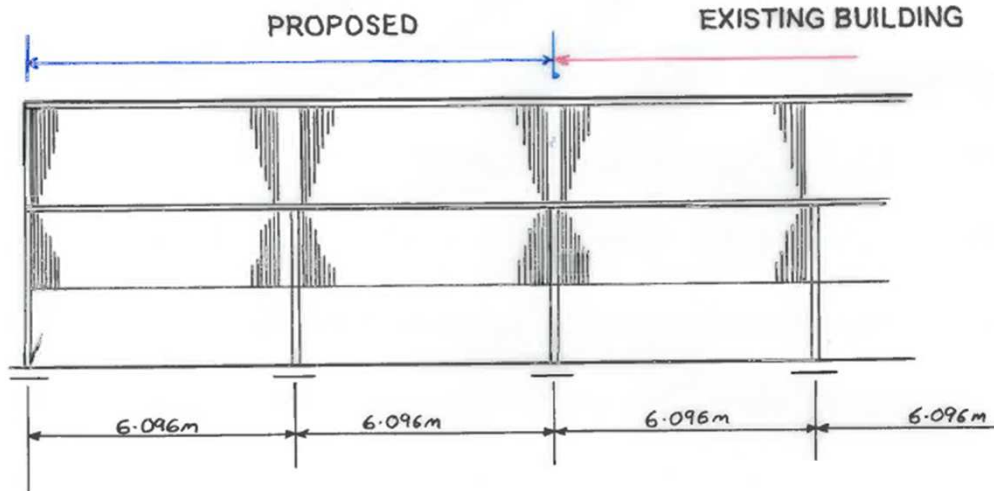


EXISTING/PROPOSED  
SOUTHERN ELEVATION

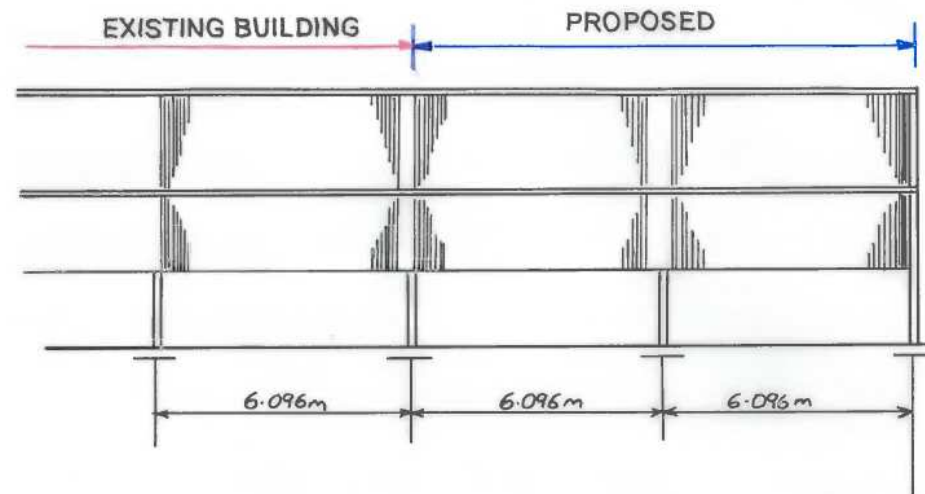


# W/39822 Elevations

PROPOSED WESTERN ELEVATION

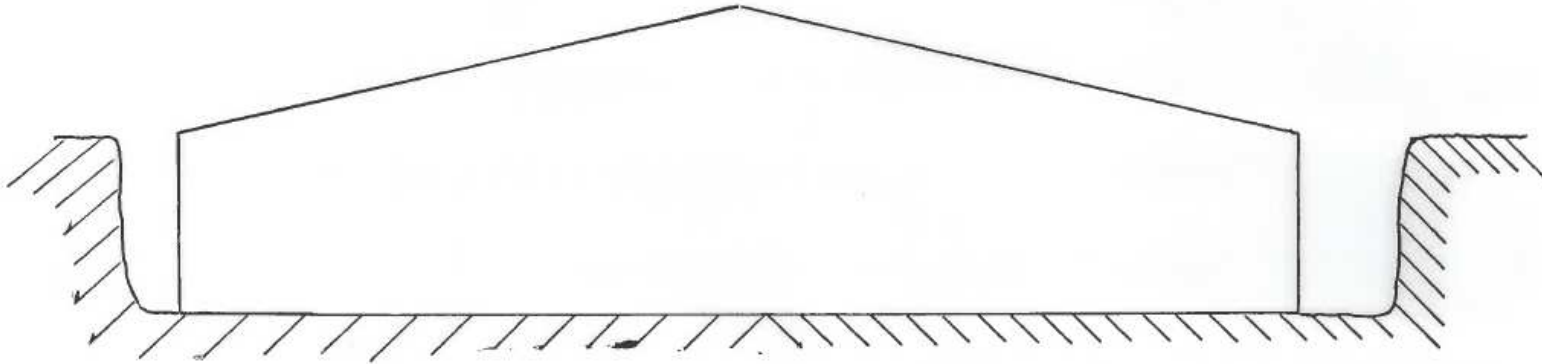


PROPOSED EASTERN ELEVATION

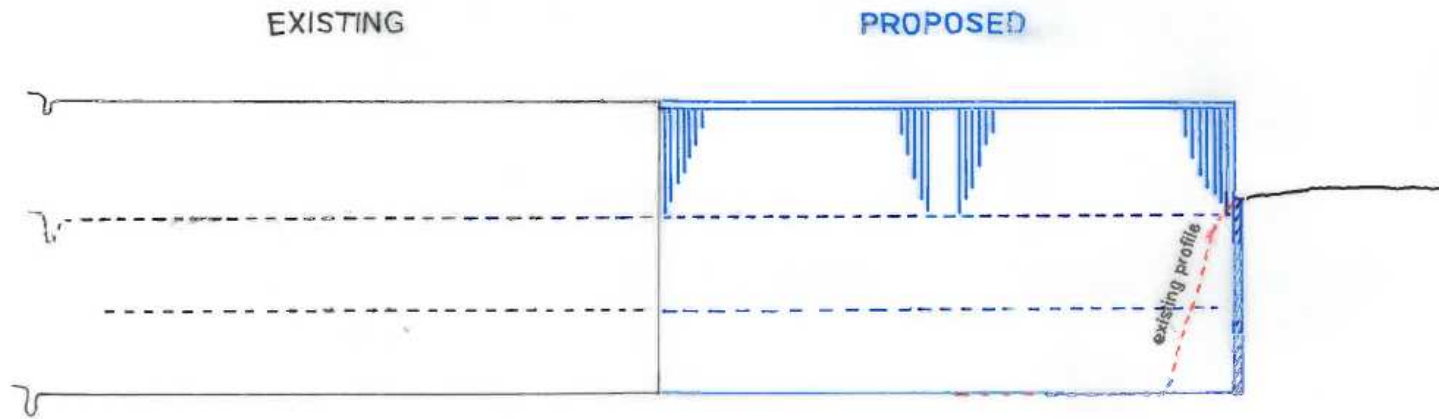


# W/39822 Cross Sections

CROSS SECTION



LONGITUDINAL SECTION



**W/39822**



Tudalen 213

Tudalen 214

**W/39822**



**W/39822**



Tudalen 215

Tudalen 216

**W/39822**





**W/39822**



Mae'r dudalen hon yn wag yn fwriadol